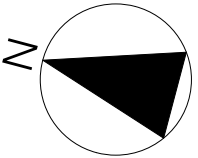


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CPD	CUPBOARD
DN	DOWN
DP	DOWNPIPE
DR	DRYER
DW	DISHWASHER
FG	FRIDGE
FFL	FINISHED FLOOR LEVEL
PTY	PANTRY
RL	RELATIVE LEVEL
S	SINK
SHW	SHOWER
T.O.W	TOP OF WALL
WC	TOILET
WIL	WALK IN LINEN
WM	WASHING MACHINE

FLOOR AREAS

GROUND INTERNAL	211.58m ²
STAIRS / LIFT SHAFT	9.19m ²
UPPER INTERNAL	222.55m ²
UPPER BALCONY	61.53m ²
MAINTENANCE PLATFORM	22.94m ²
TOTAL	527.79m²

Client
HAWKS NEST SURF CLUB
Project Address
DP753166 BOONER
STREET, HAWKS NEST

Drawing Title:
3D IMAGES

Rev	Date	Notes
C1	25/3/19	CC
D1	21/6/19	Post DA
D2	29/8/19	Updates
D3	17/10/19	Compliance
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D9	18/2/20	CC
D11	01/3/20	CC
D12	02/03/20	CC
D13	14/04/20	CC
D14	29/04/20	CC

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PAGE	DRAWING	SCALE
0	COVER	NTS
CC.1	3D IMAGES	NTS
CC.2	INDEX	1:1
CC.3	SITE PLAN	1:200, 1:100
CC.3	STAGES	1:100
CC.5	EXISTING FLOOR PLANS	1:1, 1:100
CC.6	DEMOLITION PLAN	1:100
CC.7	DEMOLITION OVERLAY	1:120
CC.8	PROPOSED GROUND FLOOR	1:100
CC.9	PROPOSED UPPER LEVEL	1:100
CC.10	WINDOW & DOOR SCHEDULE	1:1
CC.11	WALL SCHEDULE	1:200
CC.12	ELEVATIONS	1:100
CC.13	ELEVATIONS	1:100
CC.14	CEILING PLAN	1:100
CC.15	SECTION	1:50, 1:100
CC.16	INTERIOR ELEVATIONS 1	1:100, 1:60
CC.17	INTERIOR ELEVATIONS 2	1:50
CC.18	INTERIOR ELEVATIONS 3	1:50
CC.19	LIFT PLAN	NTS
CC.20	LOWER ELECTRICAL LAYOUT	1:100
CC.21	UPPER ELECTRICAL LAYOUT	1:100
CC.22	ACCESSIBILITY PLAN	1:200, 1:130
CC.23	FIRE PLAN	1:100
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DA.19	BATHROOM DETAIL	1:50
DA.26	FLOORING FINISHES	1:100
DA.27	FURNITURE LAYOUT	1:100
DA.28	AREA CALCULATIONS (A)	1:100
DA.29	AREA CALCULATIONS (B)	1:100

CONSTRUCTION NOTES

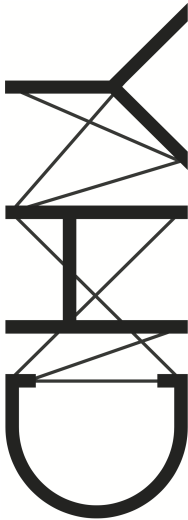
CLASSIFICATION	CLASS 9B - ASSEMBLY BUILDING
CONSTRUCTION TYPE	TYPE B
RISE IN STORIES	2
CLIMATE ZONE	CLIMATE ZONE 5
- THE BCA CONSULTANT SHALL HAVE THE FINAL CALL IN DETERMINING THE BCA CLASSIFICATIONS.	
- ALL FLOOR MATERIALS, FLOOR COVERINGS, WALLS AND CEILINGS MUST COMPLY WITH BCA C1.10 'FIRE HAZARD PROPERTIES'	
- MATERIALS, EITHER COMBUSTIBLE OR CONTAINING COMBUSTIBLE FIBRES, MAY BE USED WHEREVER A NON-COMBUSTIBLE MATERIAL IS REQUIRED AS PER BCA MATERIALS BCA C1.12 'NON COMBUSTIBLE MATERIALS'.	
- KITCHEN / BAR TO COMPLY WITH AS 4674 -2004	
- SANITARY COMPARTMENTS MUST BE DESIGNED TO BCA F2.5 AND DOORS OF FULLY ENCLOSED SANITARY COMPARTMENTS MUST BE READILY REMOVABLE FROM THE OUTSIDE OF THE COMPARTMENT.	
- BRAILLE AND TACTILE SIGNAGE INDICATORS MUST COMPLY WITH BCA D3.6 AND BCA D3.8 AND AS 1428.1 AND 1428.4	
- ALL WORKS TO COMPLY WITH THE RELEVANT PERFORMANCE REQUIREMENTS OF VOL. ONE OF THE NATIONAL CONSTRUCTION CODE OF AUSTRALIA (BCA).	
- ALL PLANS TO BE READ IN CONJUNCTION WITH CONSULTANTS REPORTS AS LISTED IN THE DOCUMENTS REGISTER. ANY DISCREPANCIES BETWEEN THE ARCHITECTURAL PLANS & CONSULTANTS REPORTS ARE TO BE NOTIFIED TO THE DESIGNER PRIOR TO CONSTRUCTION	
- ALL DIMENSIONS TO BE CONFIRMED ON SITE	
- ALL BUILDING MATERIAL, HARDWARE & ELEMENTS ARE TO COMPLY WITH THE MARINE & CORROSIVE ENVIRONMENTAL REQUIREMENTS OF THE BCA & RELEVANT AUSTRALIAN STANDARDS. ALL COMPONENTS ARE TO BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S SPECIFICATIONS.	

STAGE 1:

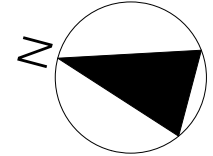
- ALL OF LEVEL 1
- LEVEL 1 WESTERN & EASTERN BALCONY WORKS (CLADDING REPAIRS, PAINTING, EXTERNAL LIGHTS)
- GROUND FLOOR; ENTRY FOYER, DISABLED RAMP & ENTRY, WESTERN ELEVATION ENTRY STAIRS, LIFT, WORKS TO REMOVE COLUMN NEXT TO LIFT.
- ALL SERVICES TO BE COMPLETED THAT ARE REQUIRED FOR LEVEL 1 TO FUNCTION
- TEMPORARY WALL TO CUT OFF STAGE 1 & 2 (TO PREVENT GROUND FLOOR BEING ACCESSED)

STAGE 2:

- REMAINING GROUND FLOOR WORKS
- TIMBER SLAT SCREEN
- EXTERNAL WORKS



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TOTAL	527.79m²

Client
HAWKS NEST SURF CLUB
Project Address
DP753166 BOONER STREET, HAWKS NEST

Drawing Title:

INDEX

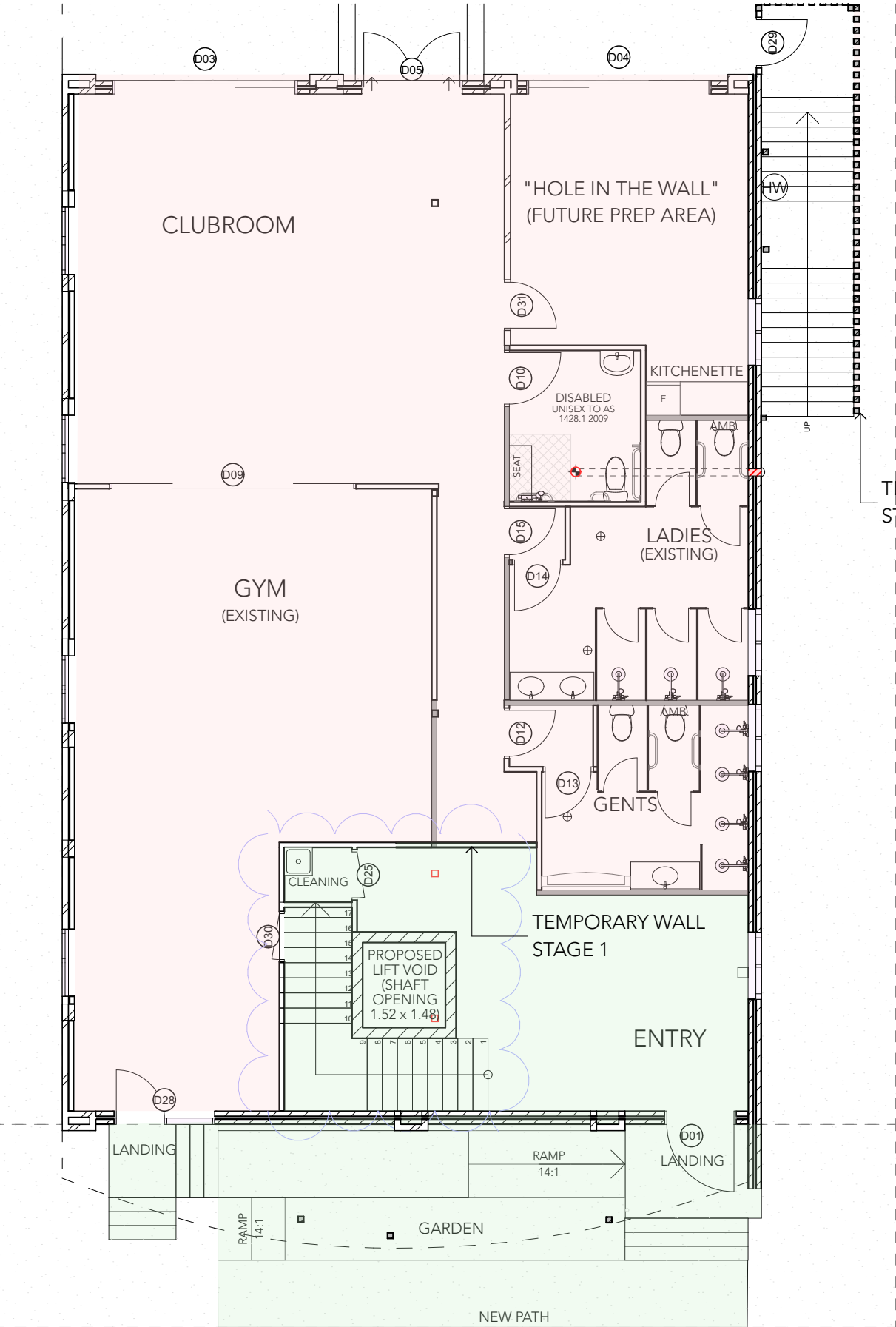
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D9	18/2/20	CC
D11	01/3/20	CC
D12	02/03/20	CC
D13	14/04/20	CC
D14	29/04/20	CC

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YDH-070	CC.2	D14

Plot Date: 29/4/20

STAGE 1:

- ALL OF LEVEL 1
- LEVEL 1 WESTERN & EASTERN BALCONY WORKS (CLADDING REPAIRS, PAINTING, EXTERNAL LIGHTS)
- GROUND FLOOR; ENTRY FOYER, DISABLED RAMP & ENTRY, WESTERN ELEVATION ENTRY STAIRS, LIFT, WORKS TO REMOVE COLUMN NEXT TO LIFT.
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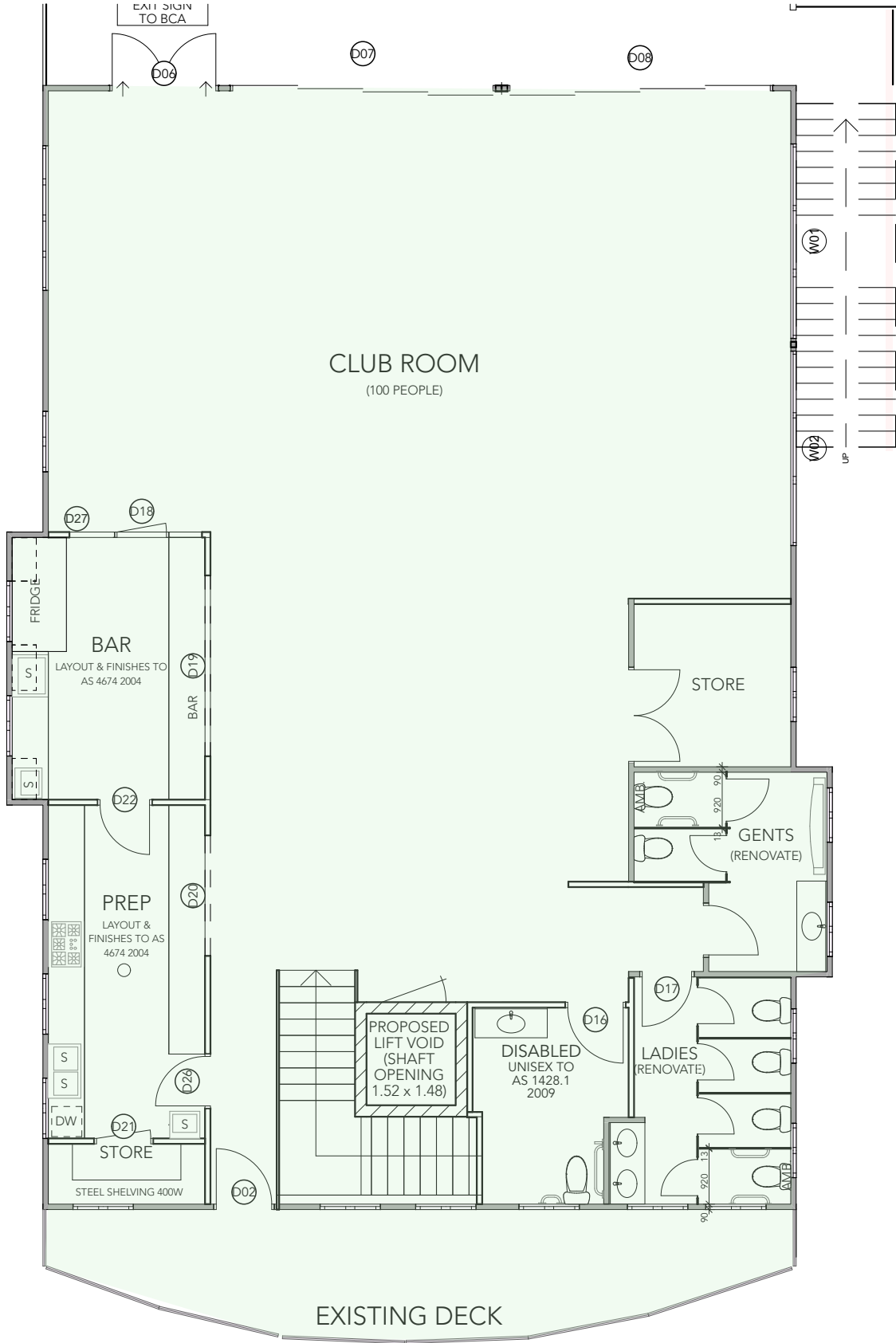


GROUND STAGES

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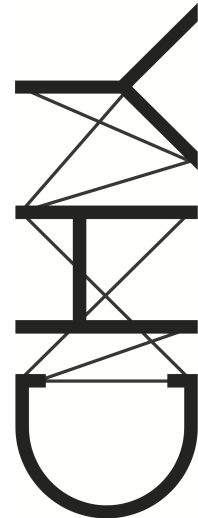
STAGE 2:

- REMAINING GROUND FLOOR WORKS
- TIMBER SLAT SCREEN
- EXTERNAL WORKS



UPPER STAGES

1:100



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Project Address
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Drawing Title:
STAGES

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D14	29/04/20	CC

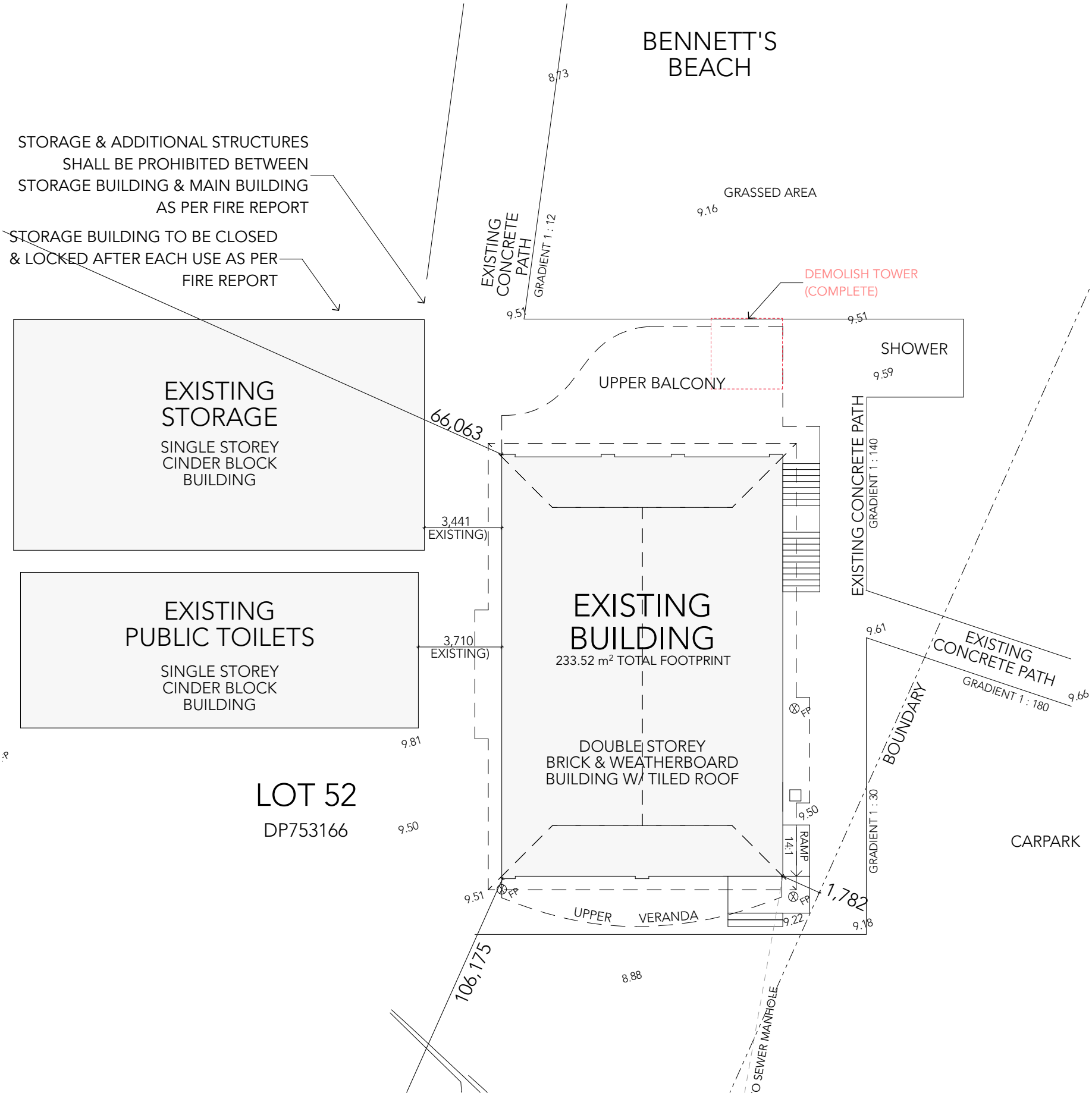
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Plot Date: 29/4/20

MEASUREMENTS AT 90°
TO BOUNDARY
(PARALLEL TO BOUNDARY)

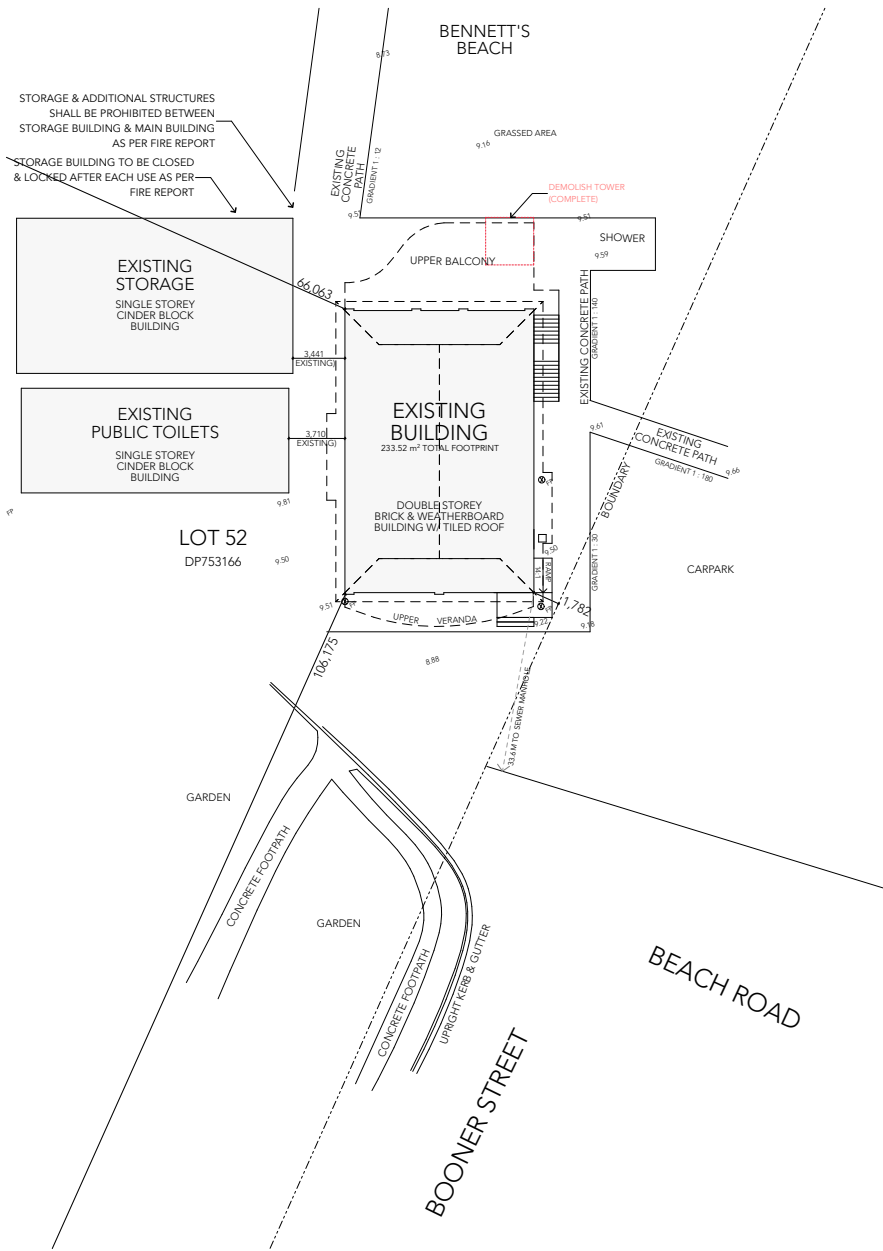
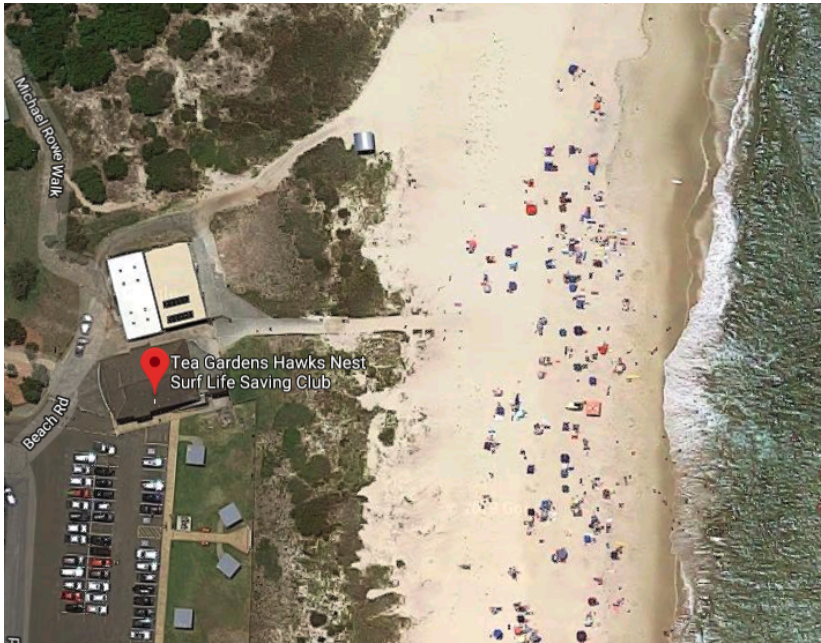
NOTE:
SEWER DRAINS TO BE LOCATED &
CONFIRMED ON SITE

⊗ FP FLUSH POINT



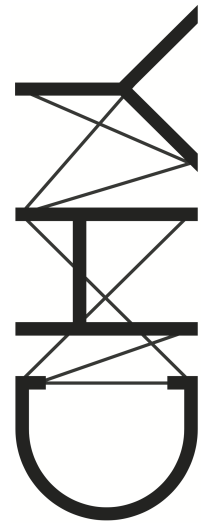
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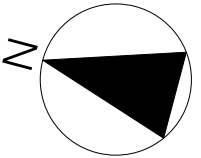


EXISTING SITE PLAN

1:500



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FLOOR AREAS

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TOTAL	527.79m²

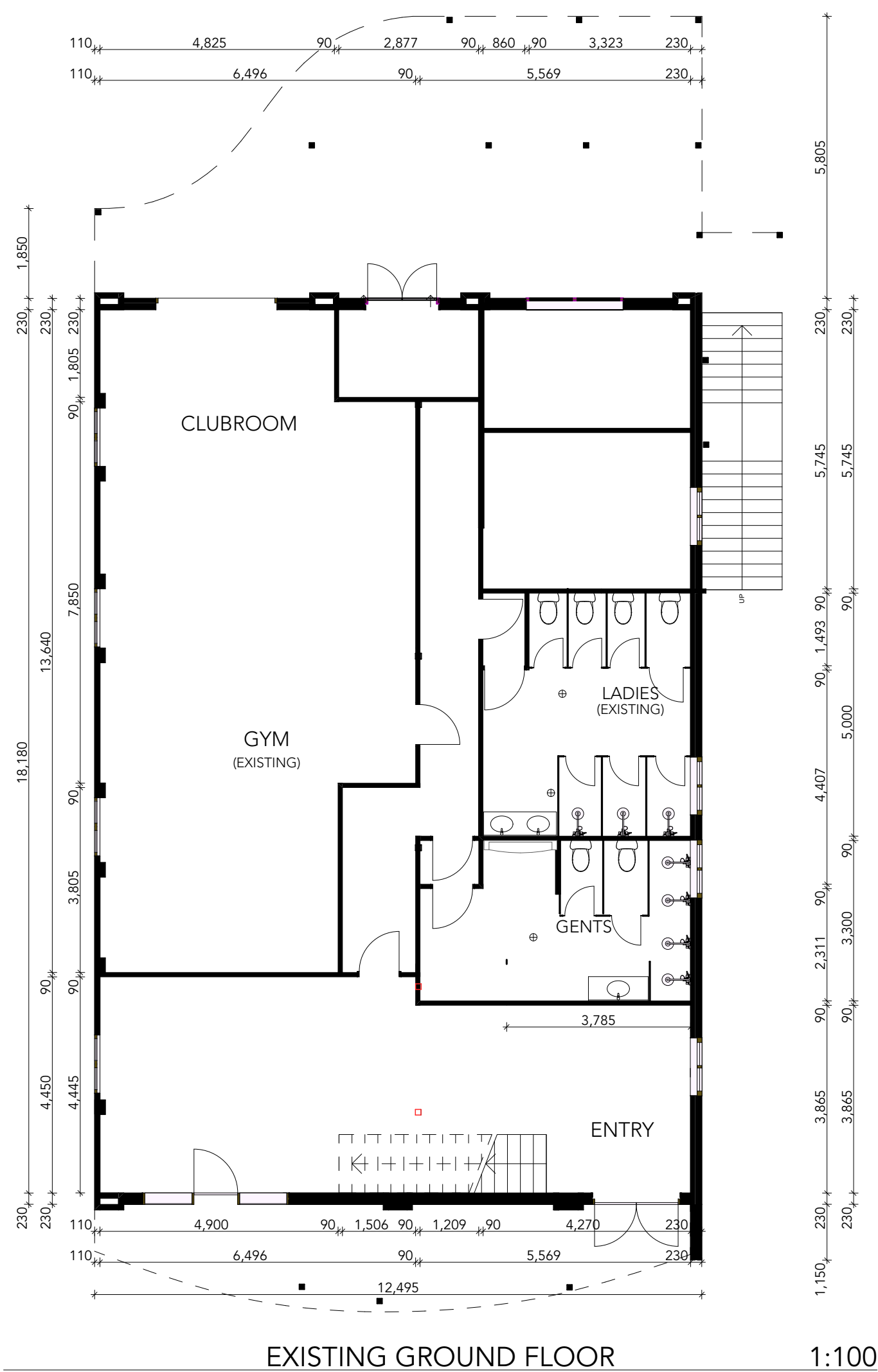
Client
HAWKS NEST SURF CLUB
Project Address
DP753166 BOONER
STREET, HAWKS NEST

Drawing Title:
SITE PLAN

Rev	Date	Notes
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D1	21/6/19	Post DA
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D11	01/3/20	CC
D12	02/03/20	CC
D13	14/04/20	CC
D14	29/04/20	CC

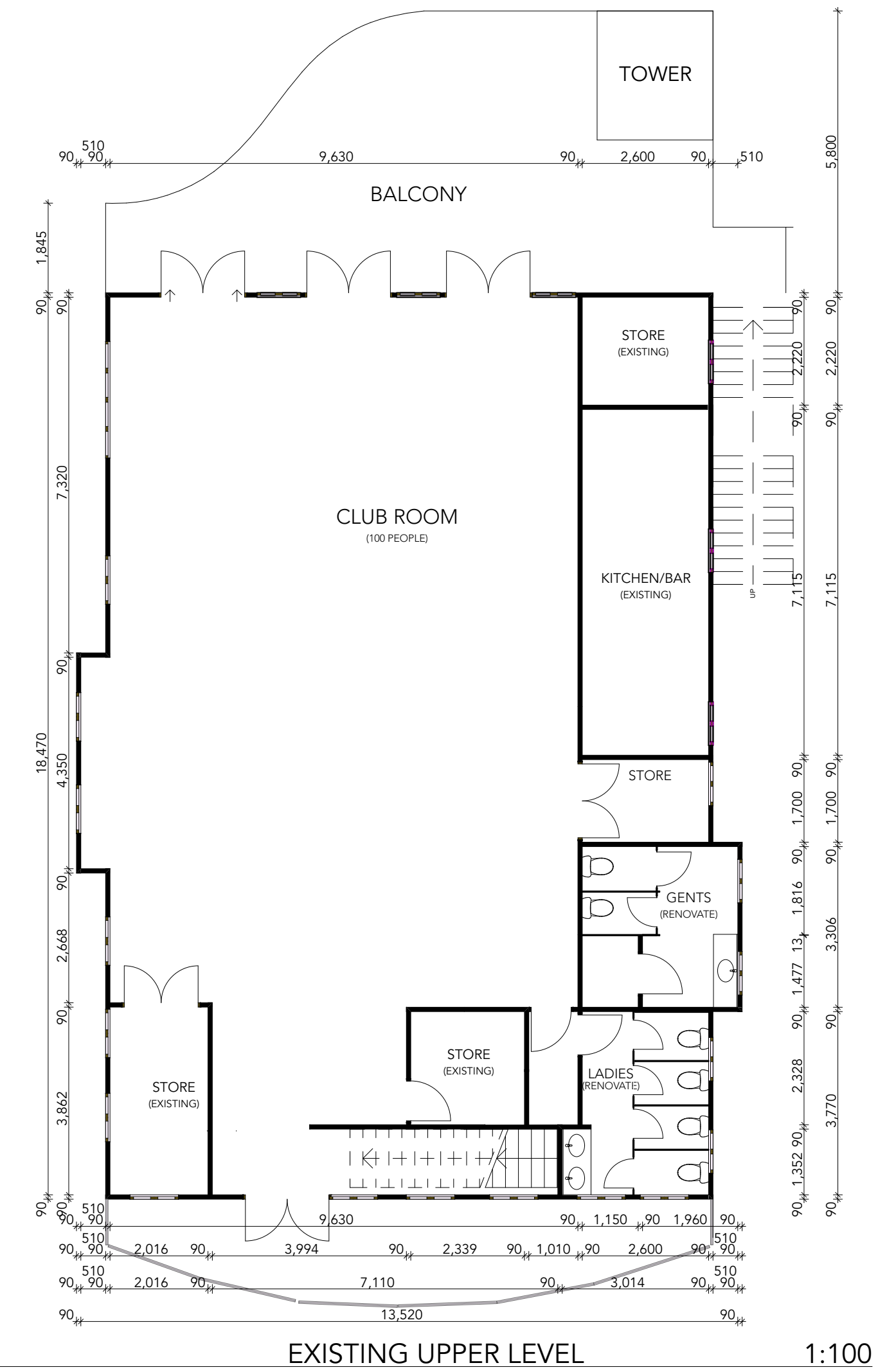
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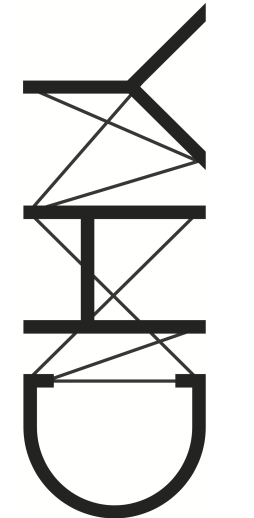
EXISTING GROUND FLOOR

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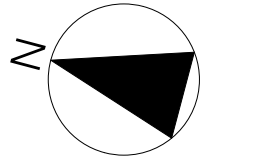


EXISTING UPPER LEVEL

1:100



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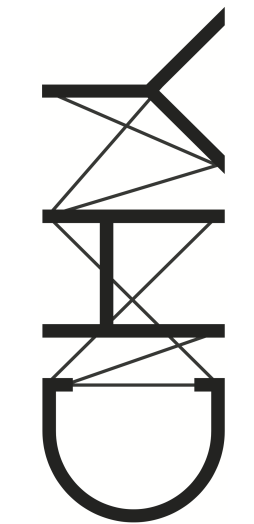
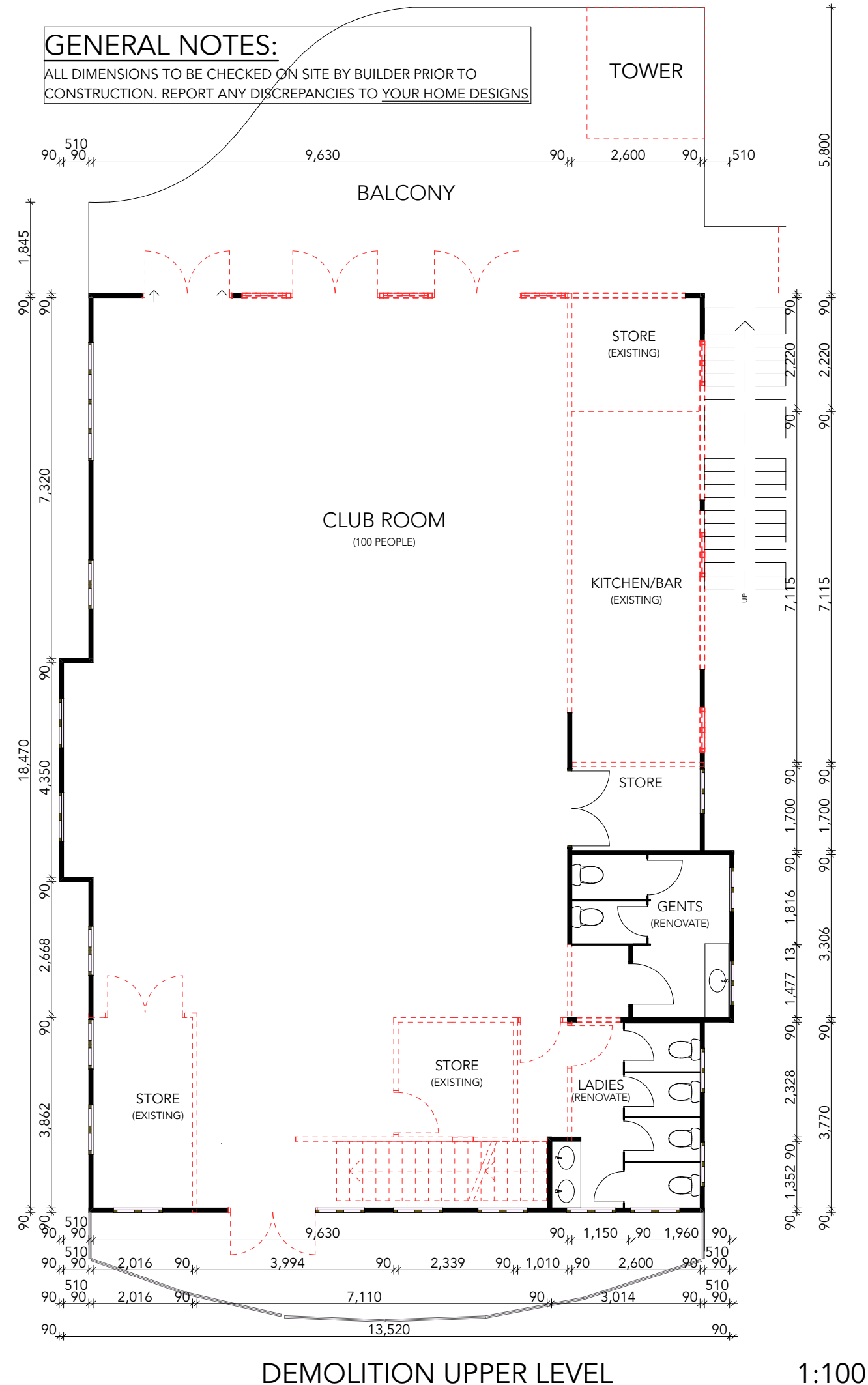
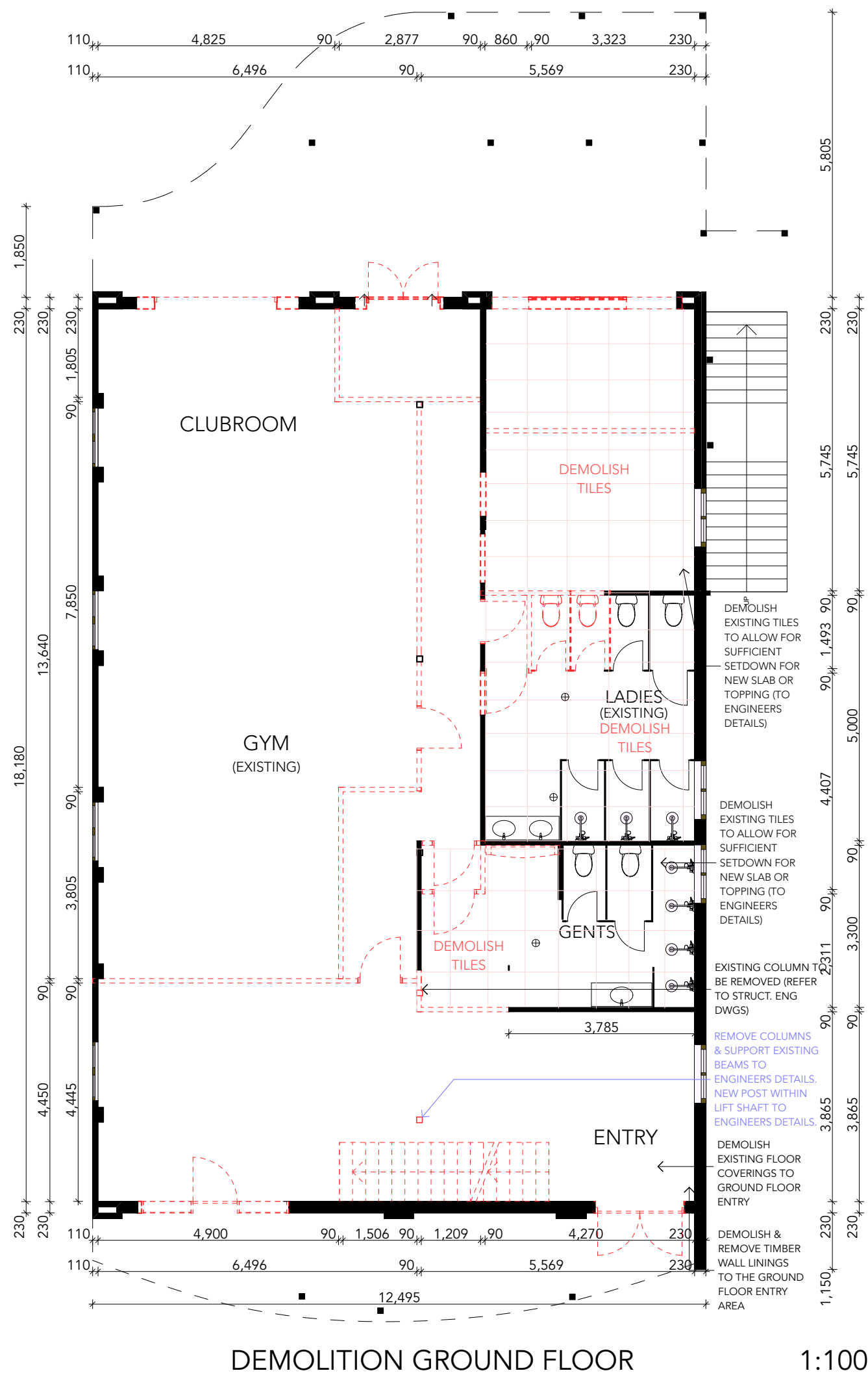
FLOOR AREAS	
GROUND INTERNAL	211.58m ²
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Client
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Project Address
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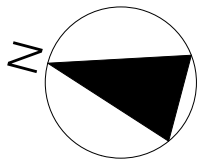
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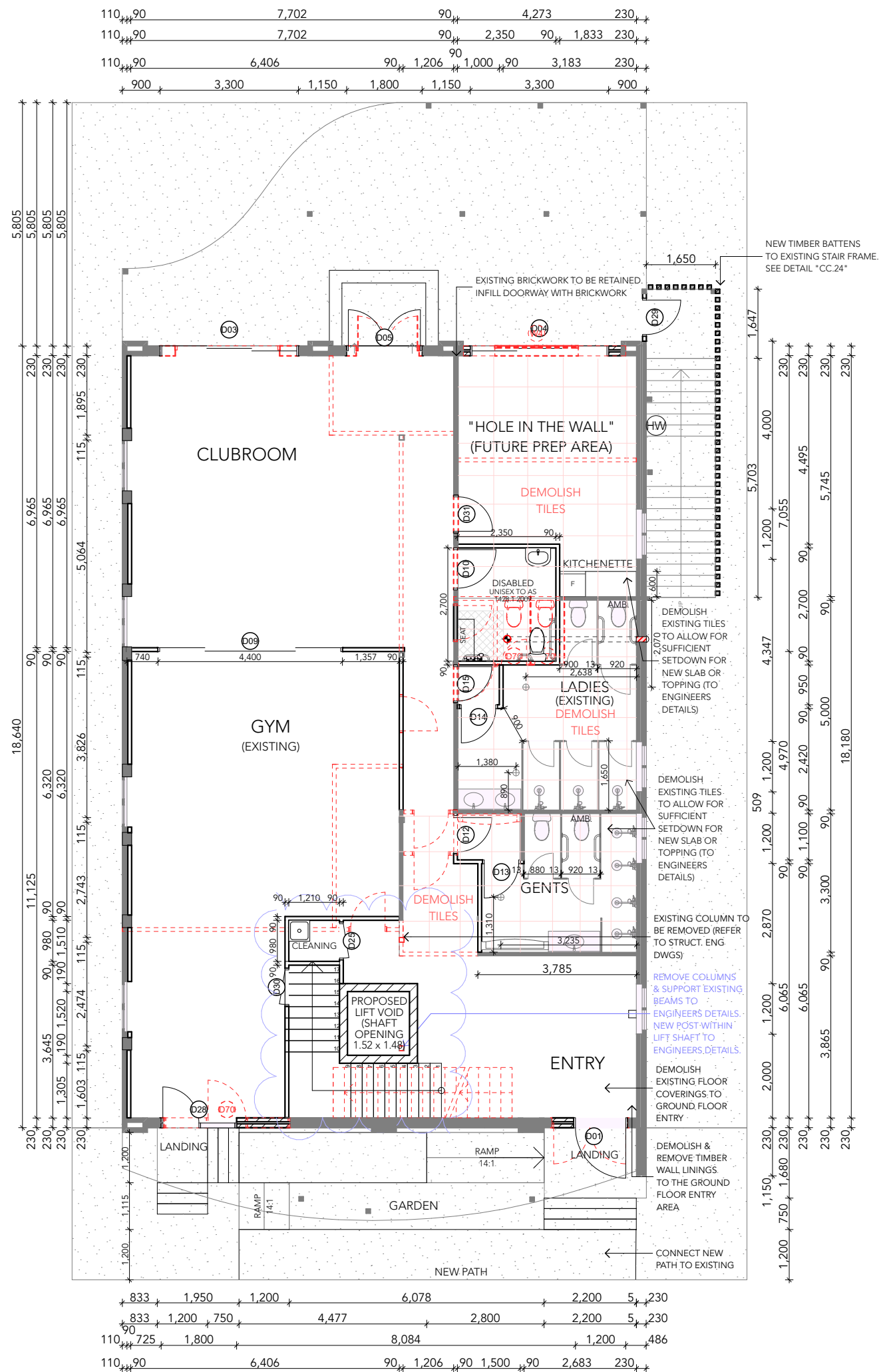
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Drawing Title:
DEMOLITION PLAN

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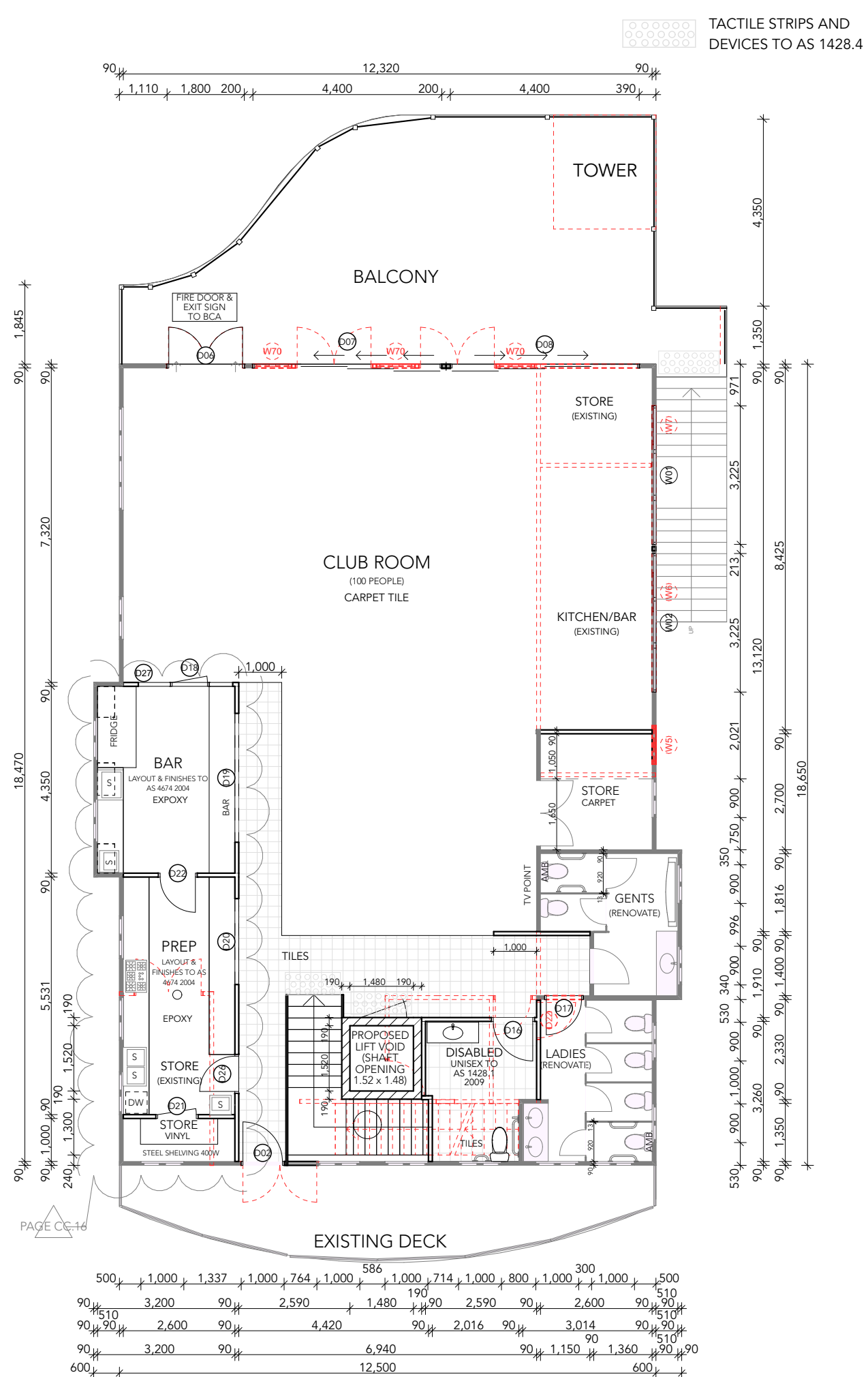
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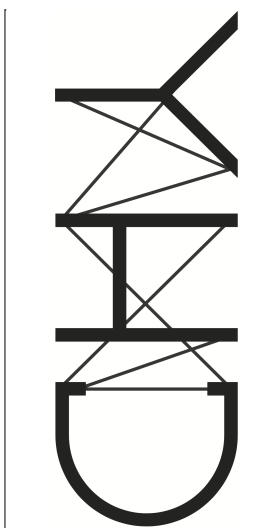
GROUND DEMO OVERLAY

1:120

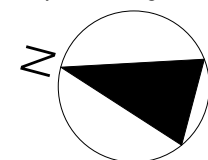


UPPER DEMO OVERLAY

1:120



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DEMOLITION
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Plot Date: 29/4/20

GENERAL NOTES:

- REPLACE ALL UPPER LEVEL PC AND SANITARY ITEMS (SUPPLIED BY CLIENT)
- NEW PAINT FINISH TO ALL WALLS, CEILINGS, DOORS, SKIRTING, ARCHITRAVES ETC.
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STAGE 1:

- ALL OF LEVEL 1
- LEVEL 1 WESTERN & EASTERN BALCONY WORKS (CLADDING REPAIRS, PAINTING, EXTERNAL LIGHTS)
- GROUND FLOOR; DISABLED RAMP & ENTRY, WESTERN ELEVATION ENTRY STAIRS, ENTRY, LIFT, WORKS TO REMOVE COLUMN NEXT TO LIFT.
- ALL SERVICES TO BE COMPLETED THAT ARE REQUIRED FOR LEVEL 1 TO FUNCTION

STAGE 2:

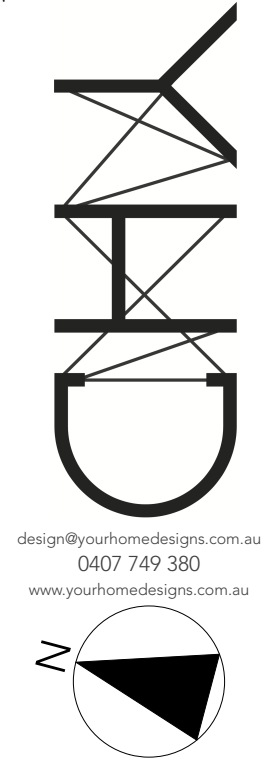
- REMAINING GROUND FLOOR WORKS
- TIMBER SLAT SCREEN
- EXTERNAL WORKS

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- REMAINING GROUND FLOOR WORKS
- TIMBER SLAT SCREEN
- EXTERNAL WORKS

- REMAINING GROUND FLOOR WORKS
- TIMBER SLAT SCREEN
- EXTERNAL WORKS

 TACTILE STRIPS AND
DEVICES TO AS 1428.4



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NOTES

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CPD	CUPBOARD
DN	DOWN
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DR	DRYER
DW	DISHWASHER
FG	FRIDGE
FFL	FINISHED FLOOR LEVEL
PTY	PANTRY
RL	RELATIVE LEVEL
S	SINK
SHW	SHOWER
T.O.W	TOP OF WALL
WC	TOILET
WL	WALK IN LINEN
WM	WASHING MACHINE

FLOOR AREAS

GROUND INTERNAL	211.58m ²
STAIRS / LIFT SHAFT	9.19m ²
UPPER INTERNAL	222.55m ²
UPPER BALCONY	61.53m ²
MAINTENANCE PLATFORM	22.94m ²
TOTAL	527.79m²

Client
HAWKS NEST SURF CLUB
Project Address
DP753166 BOONER
STREET, HAWKS NEST

Drawing Title:
PROPOSED GROUND
FLOOR

Rev	Date	Notes
C1	25/3/19	CC
D1	21/6/19	Post DA
D2	29/8/19	Updates
D3	17/10/19	Compliance
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D5	30/10/19	CC
D9	18/2/20	CC
D11	01/3/20	CC
D12	02/03/20	CC
D13	14/04/20	CC
D14	29/04/20	CC

Job Ref:	Page No:	Rev
YDH-070	CC.8	D14

Plot Date: 29/4/20

PROPOSED GROUND FLOOR

1:100

GENERAL NOTES:

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STAGE 2:

- REMAINING GROUND FLOOR WORKS
- TIMBER SLAT SCREEN
- EXTERNAL WORKS



TACTILE STRIPS AND DEVICES TO AS 1428.4

REFURBISH BALCONY & STAIRS & BUILD NEW STAIRWAY SCREENING (STAGE 4 WORKS)

2 x 100 x 100 SHS POSTS

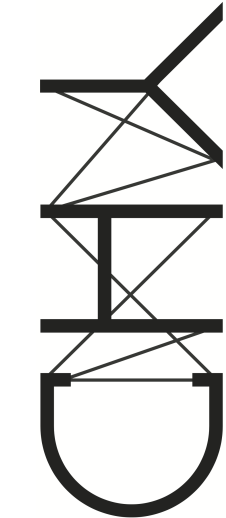
NO CHANGE TO STAIR STRUCTURE, TREADS & RISERS

2400 HIGH SAFETY GLASS WITH CRASH RAIL 1000mm HIGH

90MM STUD POST TO ENGINEERS DETAILS

2400 HIGH SAFETY GLASS WITH CRASH RAIL 1000mm HIGH

EXTEND EXISTING STORE ROOM & ADD NEW DOOR OPENING



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TOTAL	527.79m²

Client
HAWKS NEST SURF CLUB
Project Address
DP753166 BOONER STREET, HAWKS NEST

Drawing Title:
PROPOSED UPPER LEVEL

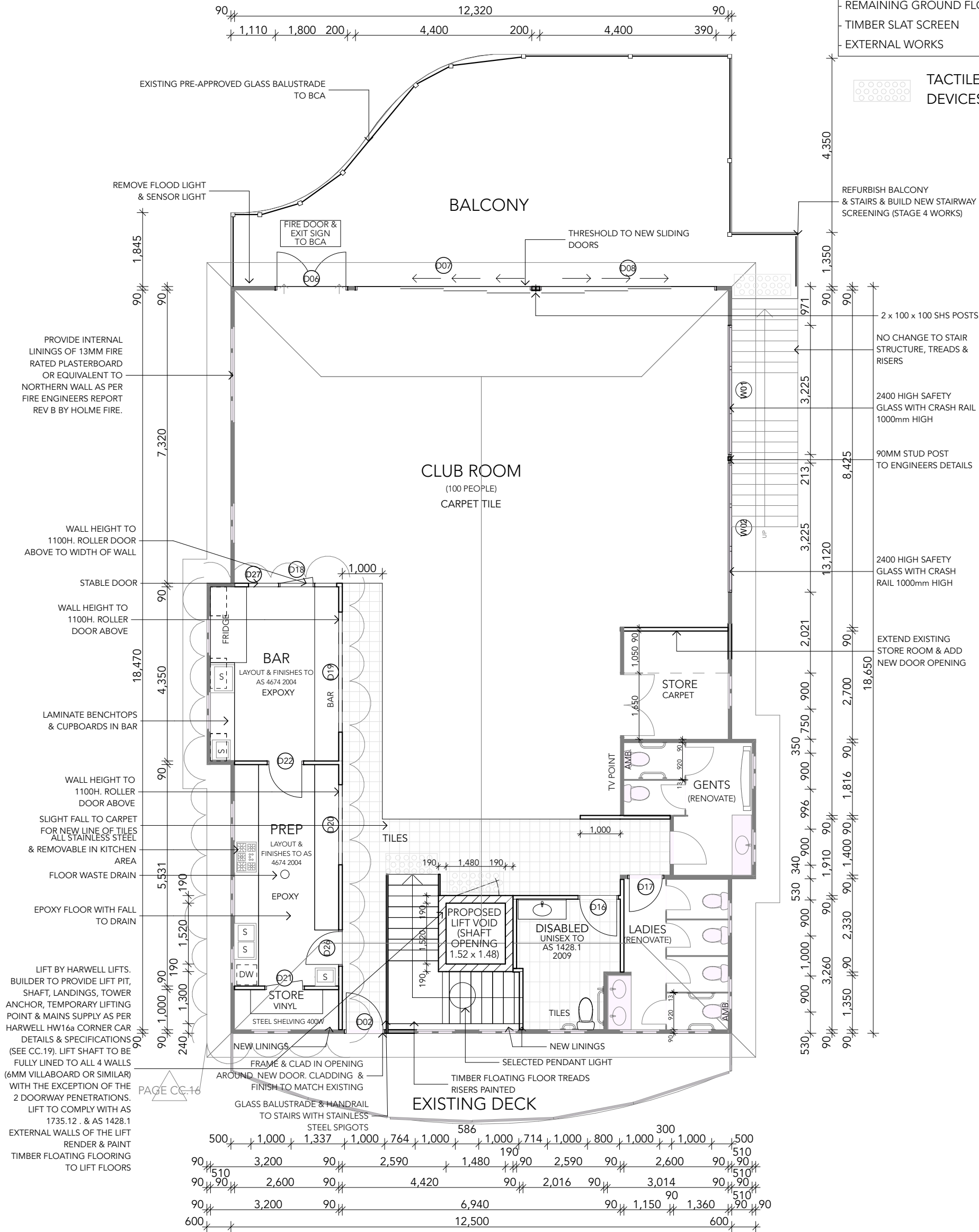
Rev	Date	Notes
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D2	29/8/19	Updates
D3	17/10/19	Compliance
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D9	18/2/20	CC
D11	01/3/20	CC
D12	02/03/20	CC
D13	14/04/20	CC
D14	29/04/20	CC

Job Ref:	Page No:	Rev
YDH-070	CC.9	D14

Plot Date: 29/4/20

PROPOSED UPPER LEVEL

1:100



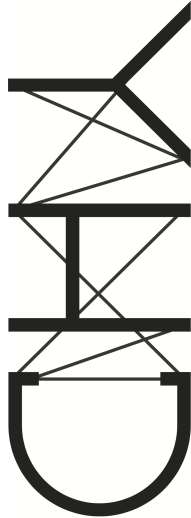
DOOR ID	D01	D02	D03	D04	D05	D06	D07	D08	D09	D10	D12
ELEVATION VIEW											
HEIGHT	2,100	2,100	2,400	2,400	2,400	2,400	2,400	2,400	2,400	2,040	2,040
WIDTH	1,200	920	3,300	3,300	1,800	1,800	4,400	4,400	4,400	920	820
DESCRIPTION	GLAZED ENTRY	EXT. HINGE	3 PANEL GLASS SLIDER	3 PANEL GLASS SLIDER	DOUBLE HINGE (EMERGENCY DOORS)	DOUBLE HINGE (EMERGENCY DOORS)	4 PANEL GLASS SLIDER	4 PANEL GLASS SLIDER	4 PANEL GLASS SLIDER X00X	HINGE (INTERIOR)	HINGE (INTERIOR)

DOOR ID	D13	D14	D15	D16	D17	D18	D19	D20	D21	D22	D25	D26	D27	D28	D29	D30	D31
ELEVATION VIEW																	
HEIGHT	2,040	2,040	2,040	2,040	2,040	1,100	1,000	1,000	2,100	2,100	2,040	2,100	1,000	2,400	2,040	2,040	2,040
WIDTH	820	820	820	920	820	900	3,000	2,000	900	900	820	900	2,200	1,800	820	820	820
DESCRIPTION	HINGE (INTERIOR)	HINGE (INTERIOR)	HINGE (INTERIOR)	HINGE (INTERIOR)	HINGE (INTERIOR)	STABLE DOOR	BAR ROLLER DOOR (1100 SILL HEIGHT)	KICTHEN ROLLER DOOR (1100 SILL HEIGHT)	HINGE (INTERIOR)	HINGE (INTERIOR)	HINGE (INTERIOR)	HINGE (INTERIOR)	BAR ROLLER DOOR (1100 SILL HEIGHT)	920mm ALUMINIUM EXTERNAL DOOR & FIXED GLASS SIDE PANEL	ALUMINIUM EXTERNAL DOOR	HINGE (INTERIOR)	HINGE (INTERIOR)

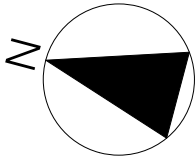
GENERAL NOTES:

- SUPPLIER TO CHECK & CONFIRM ALL OPENING SIZES ON SITE PRIOR TO MANUFACTURE
- ALL NEW GLAZING TO CONDITIONED AREAS TO COMPLY WITH PART J2.0 (BCA) AND ANNEXURE 1 OF THE SECTION J REPORT.
- NEW WINDOWS & DOORS TO BE FITTED WITH A SEAL TO RESTRICT AIR INFILTRATION TO COMPLY WITH 8.1.3 OF SECTION J REPORT.
- WINDOW AND DOOR FRAME COLOUR TO MATCH EXISTING
- BAR ROLLER DOOR COLOUR TBC

WINDOW ID	W01	W02
ELEVATION VIEW		
HEIGHT	2,400	2,400
WIDTH	3,225	3,225
SILL HEIGHT	0	0
DESCRIPTION	CUSTOM FIXED WITH CRASH RAIL	CUSTOM FIXED WITH CRASH RAIL



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SHW	SHOWER
T.O.W	TOP OF WALL
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WIL	WALK IN LINEN
WM	WASHING MACHINE

FLOOR AREAS

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UPPER BALCONY	61.53m²
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TOTAL	527.79m²

Client
HAWKS NEST SURF CLUB
Project Address
DP753166 BOONER STREET, HAWKS NEST

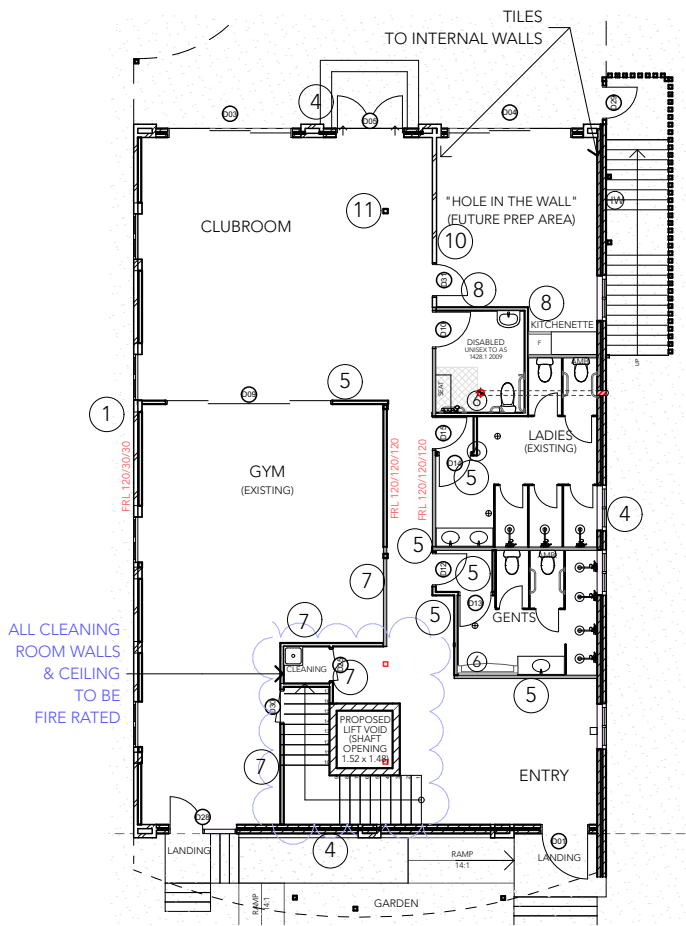
Drawing Title:
WINDOW & DOOR SCHEDULE

Rev	Date	Notes
C1	25/3/19	CC
D1	21/6/19	Post DA
D2	29/8/19	Updates
D3	17/10/19	Compliance
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D12	02/03/20	CC
D13	14/04/20	CC
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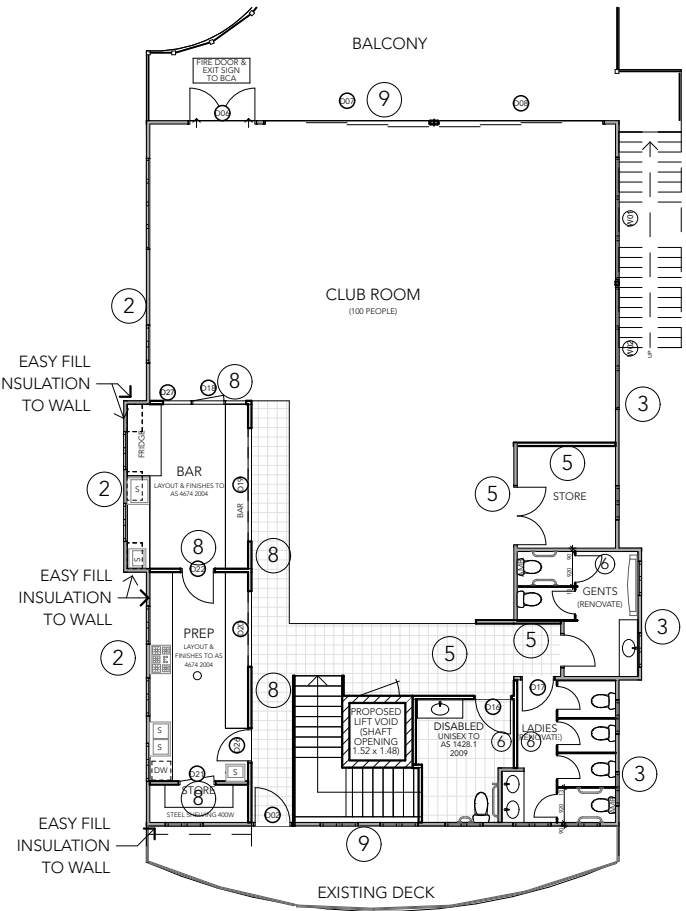
Job Ref:	Page No:	Rev
YDH-070	CC.10	D14

Plot Date:

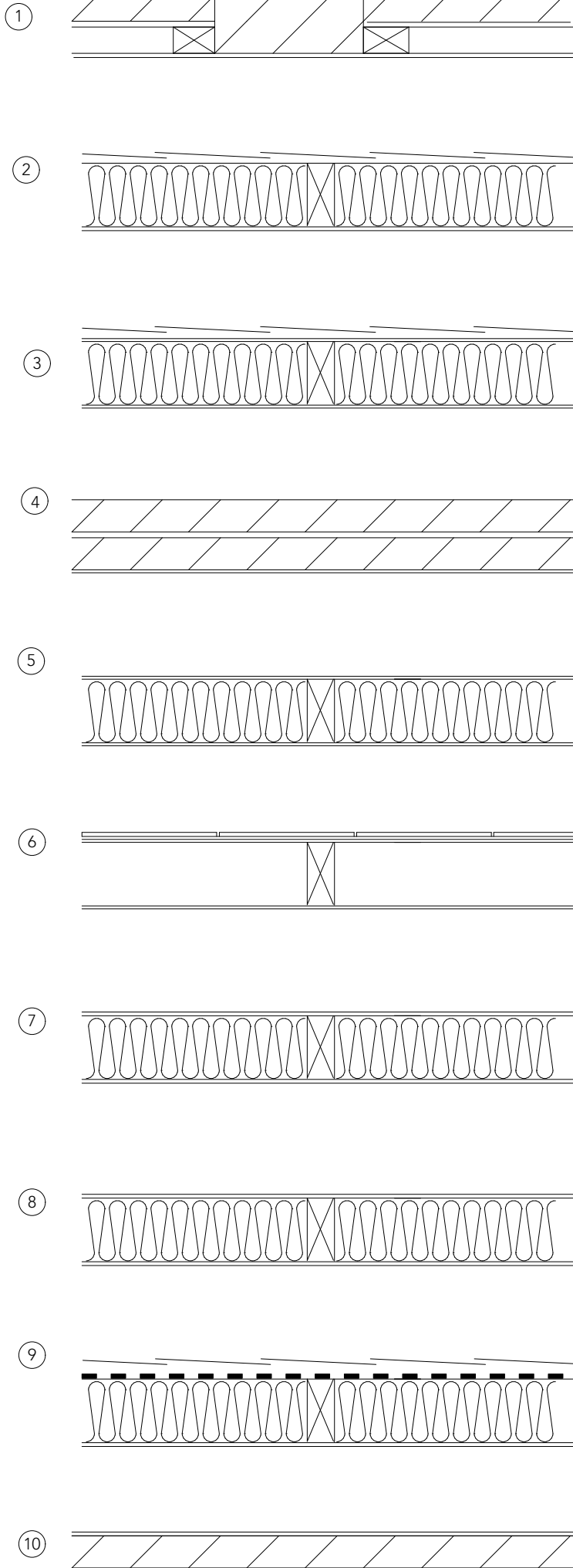
29/4/20



GROUND WALL SCHEDULE 1:200



UPPER WALL SCHEDULE 1:200



110 SINGLE BRICK & ENGAGED PIERS (EXISTING)
90 X 45mm TIMBER STUD WALL (NEW)
1 X 13MM FYRCHEK INTERNAL LINING (NEW)
(FRL 120/30/30)

SELECTED WEATHERBOARD CLADDING (EXISTING)
BRADFORDS INSULATION ACOUSTIGUARD 90 (R 2.7)
90 X 45mm TIMBER STUD WALL FRAMING (EXISTING)
1 X 13MM FYRCHEK INTERNAL LINING (NEW)

WEATHERBOARD CLADDING (EXISTING)
BRADFORDS INSULATION ACOUSTIGUARD 90 (R 2.7) (NEW)
90 X 45mm TIMBER STUD WALL FRAMING (EXISTING)
10MM PLASTERBOARD

RENDERED / BAGGED (STAGE 3)
230MM DOUBLE BRICK (EXISTING)
10MM PLASTERBOARD (NEW)

(NEW WALL)
10MM PLASTERBOARD
BRADFORDS INSULATION ACOUSTIGUARD 90 (R 2.7)
90 X 45mm TIMBER STUD WALL FRAMING
10MM PLASTERBOARD

SELECTED WALL TILES
2 X 9mm VILLABOARD WALL LINING
90 X 45mm TIMBER STUD WALL FRAMING
10MM PLASTERBOARD

NEW WALL (FRL 120/-/-, CSR 1080 OR SIMILAR)
2 X 13MM FYRCHEK INTERNAL LINING
BRADFORDS INSULATION ACOUSTIGUARD 90 (R 2.7)
90 X 45mm TIMBER STUD WALL FRAMING
2 X 13MM FYRCHEK INTERNAL LINING

(NEW WALL)
10MM PLASTERBOARD
EASY FOAM INSULATION (R .7)
90 X 45mm TIMBER STUD WALL FRAMING
10MM PLASTERBOARD

SELECTED WEATHERBOARD CLADDING (NEW)
WALL SARKING (BRADFORDS ENVIROSEAL) (NEW)
BRADFORDS INSULATION ACOUSTIGUARD 90 (R 2.7)
90 X 45mm TIMBER STUD WALL FRAMING (EXISTING)
1 X 13MM FYRCHEK INTERNAL LINING (NEW)

10MM PLASTERBOARD
SINGLE BRICK WALL (EXPOSED)

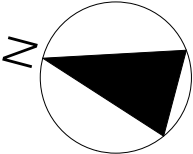
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11 ISOLATED COLUMN (FRL 120/-/-, CSR 1815)
3 X 13mm FYRCHEK

GROUND FLOOR STRUCTURAL BEAMS (FRL 120/120/120)
SUPPORTING LEVEL 1 TO BE FIRE RATED USING
3 LAYERS OF 16mm GYPROCK EC08 IN ACCORDANCE
WITH CSR PRODUCT 3945, OR EQUIVALENT

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Project Address
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Drawing Title:
WALL SCHEDULE

Rev	Date	Notes
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D1	21/6/19	Post DA
D2	29/8/19	Updates
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D12	02/03/20	CC
D13	14/04/20	CC
D14	29/04/20	CC

Job Ref:	Page No:	Rev
YDH-070	CC.11	D14

Plot Date: 29/4/20

STAGE 1:

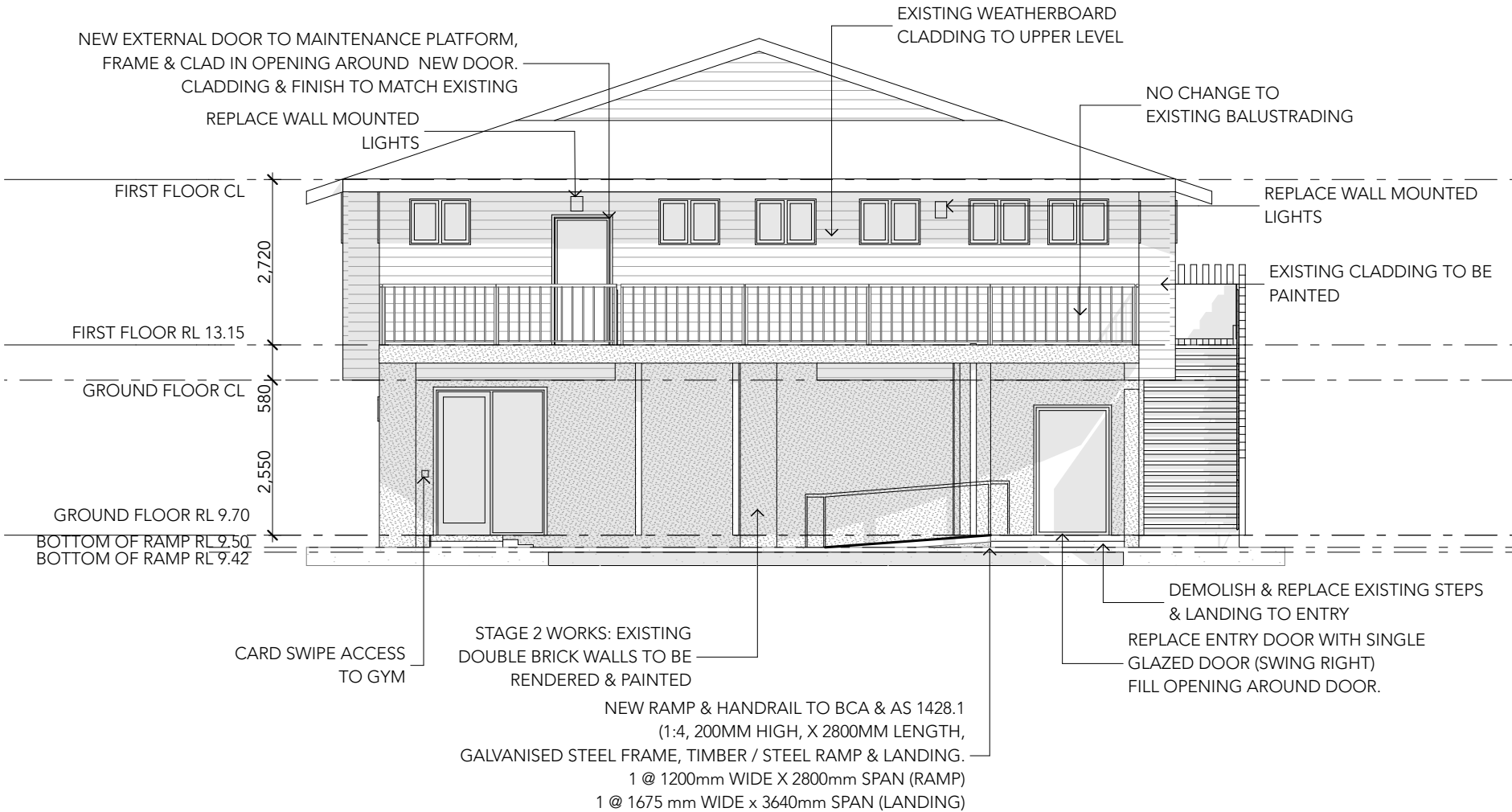
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STAGE 2:

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- EXTERNAL WORKS

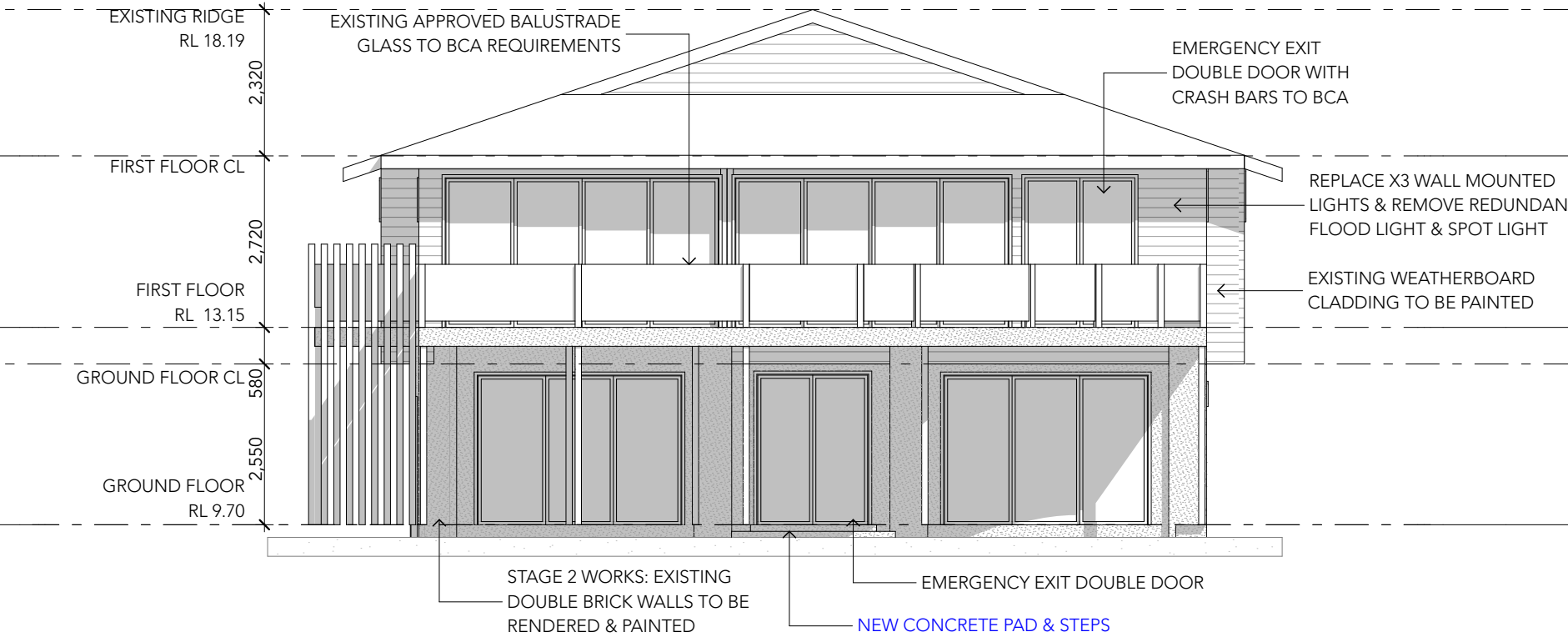
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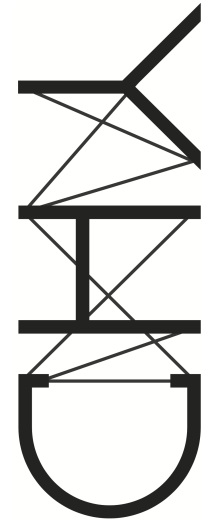
WEST (FRONT) ELEVATION

1:100

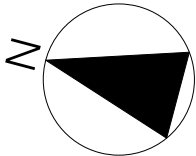


EAST (REAR) ELEVATION

1:100



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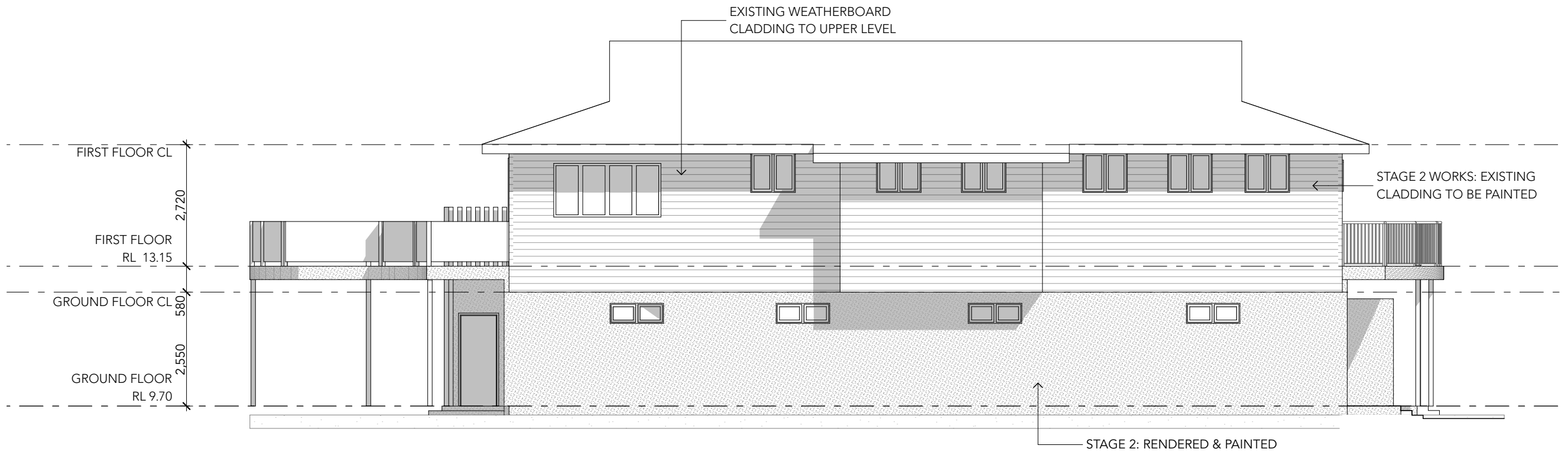
Client
HAWKS NEST SURF CLUB
Project Address
DP753166 BOONER STREET, HAWKS NEST

Drawing Title:
ELEVATIONS

Rev	Date	Notes
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D14	29/04/20	CC

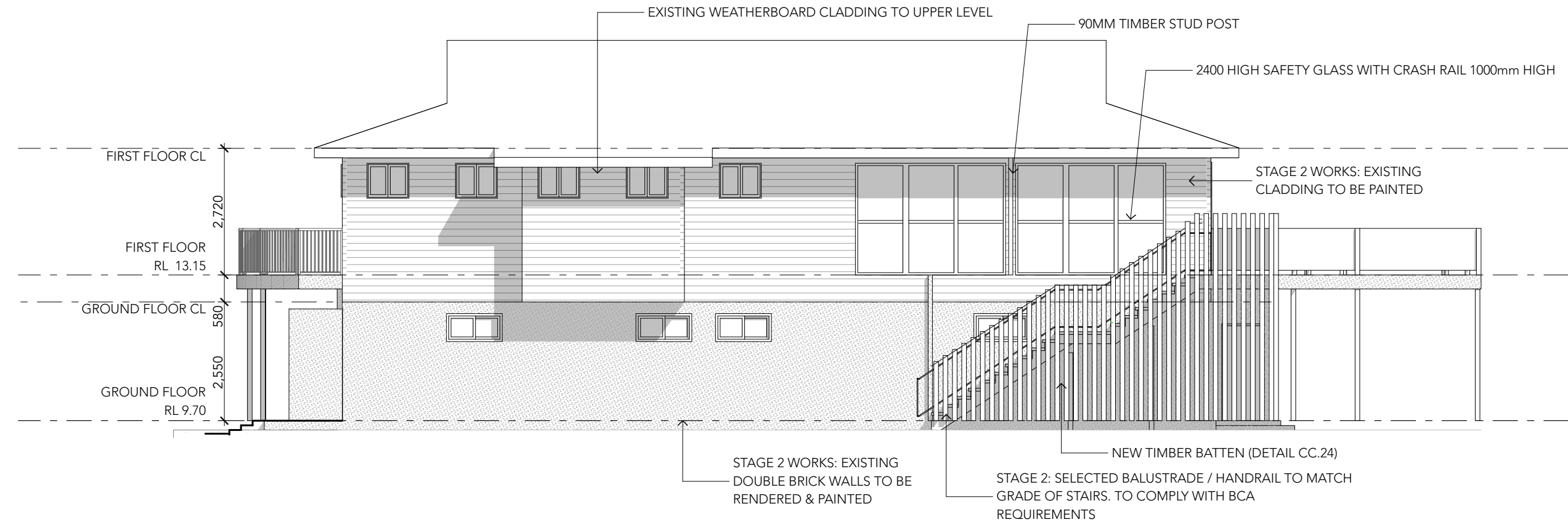
Job Ref:	Page No:	Rev
YDH-070	CC.12	D14

Plot Date: 29/4/20



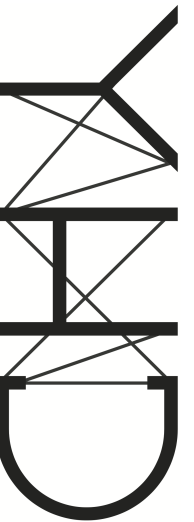
NORTH ELEVATION

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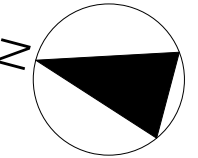


SOUTH ELEVATION

1:100



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CPD	CUPBOARD
DN	DOWN
DP	DOWNPIPE
DR	DRYER
DW	DISHWASHER
FG	FRIDGE
FFL	FINISHED FLOOR LEVEL
PTY	PANTRY
RL	RELATIVE LEVEL
S	SINK
SHW	SHOWER
T.O.W	TOP OF WALL
WC	TOILET
WIL	WALK IN LINEN
WM	WASHING MACHINE

FLOOR AREAS

GROUND INTERNAL	211.58m ²
STAIRS / LIFT SHAFT	9.19m ²
UPPER INTERNAL	222.55m ²
UPPER BALCONY	61.53m ²
MAINTENANCE PLATFORM	22.94m ²
TOTAL	527.79m²

Client
HAWKS NEST SURF CLUB
Project Address
**DP753166 BOONER
STREET, HAWKS NEST**

Drawing Title:
ELEVATIONS

Rev	Date	Notes
C1	25/3/19	CC
D1	21/6/19	Post DA
D2	29/8/19	Updates
D3	17/10/19	Compliance
D4	24/10/19	Compliance
D5	30/10/19	CC
D9	18/2/20	CC
D11	01/3/20	CC
D12	02/03/20	CC
D13	14/04/20	CC
D14	29/04/20	CC

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Plot Date: 29/4/20

EX	EXISTING CEILING (MAKE GOOD)
MR PB 2400	MOISTURE RESISTANT PLASTERBOARD
GYPROCK 2400	GYPROCK

GENERAL NOTES:

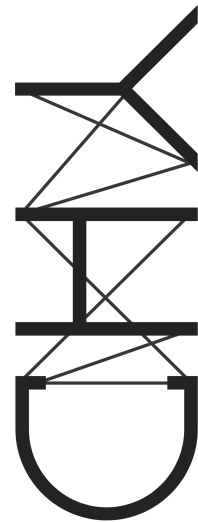
- ALL WORKS TO COMPLY WITH THE RELEVANT PERFORMANCE REQUIREMENTS OF VOL. ONE OF THE NATIONAL CONSTRUCTION CODE OF AUSTRALIA (BCA).
- ALL PLANS TO BE READ IN CONJUNCTION WITH FIRE ENGINEERING REPORT COMPLETED BY HOLMES FIRE. ANY DISCREPANCIES BETWEEN THE ARCHITECTURAL PLANS & FIRE ENGINEERING REPORT ARE TO BE NOTIFIED TO THE DESIGNER PRIOR TO CONSTRUCTION.

FOOD PREPARATION & BAR AREAS:

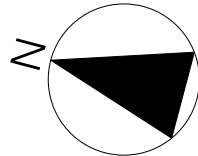
- THE CEILING HEIGHT IN A FOOD PREMISES MUST NOT BE LESS THAN 2.4M
- CEILING MUST BE FREE OPEN JOINTS, CRACKS AND CREVICES.

THE INTERSECTION OF WALLS AND CEILINGS ARE TO BE TIGHT JOINTED, SEALED AND DUST-PROOF.

- THE CEILING MUST BE FINISHED WITH A MATERIAL THAT IS WASHABLE & IMPERVIOUS.
- CEILINGS MUST BE FINISHED IN A LIGHT COLOUR TO FACILITATE CLEANING.
- APPROVED MATERIALS FOR CEILINGS INCLUDE: FIBROUS PLASTER, PLASTERBOARDS, FIBROUS CEMENT, CEMENT RENDER WITH STEEL TROWL.
- DROP IN PANELS ARE NOT TO BE USED IN FOOD PREP OR DISPLAY AREAS.



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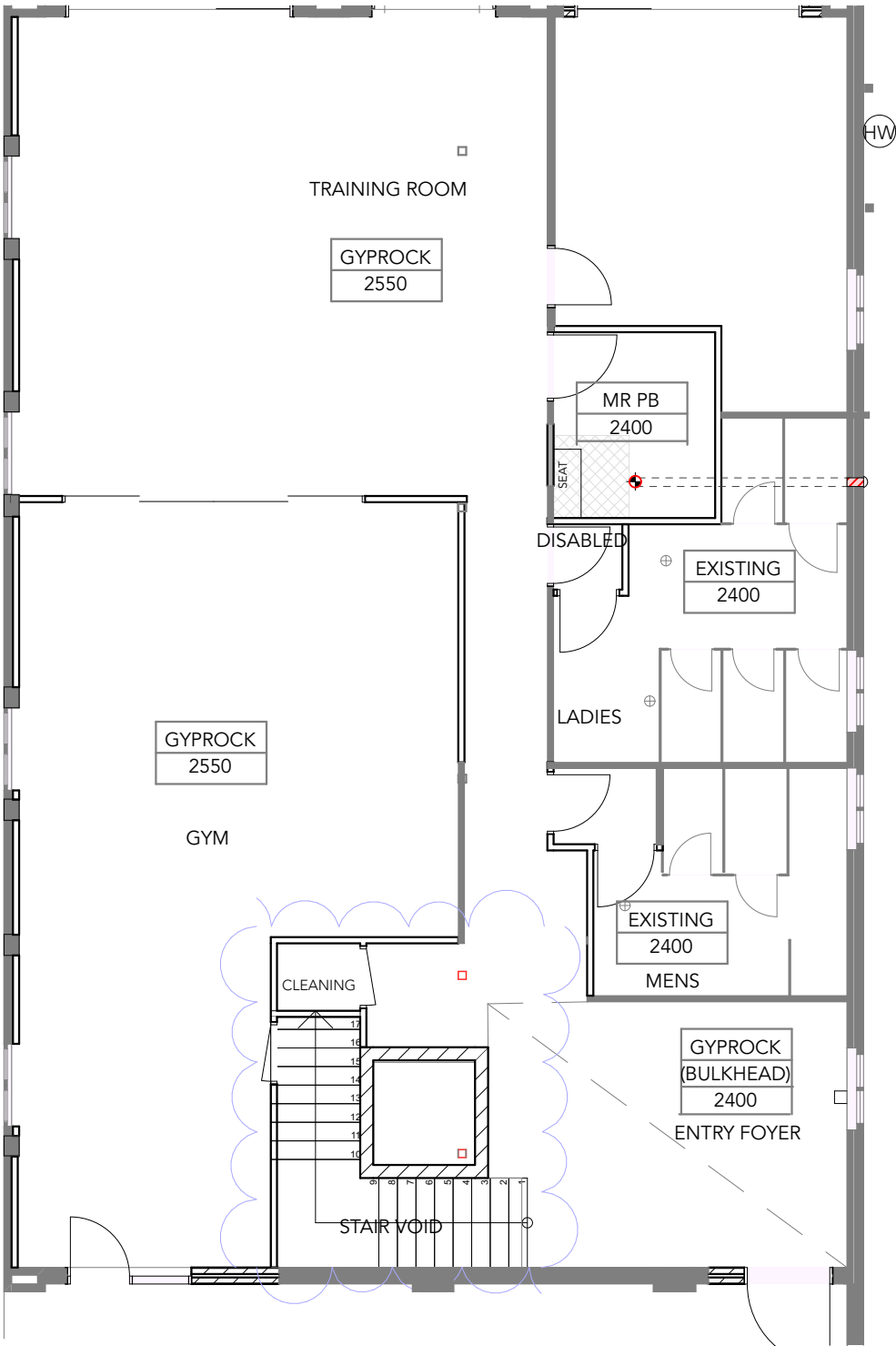
Client
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Project Address
**DP753166 BOONER
STREET, HAWKS NEST**

Drawing Title:
CEILING PLAN

Rev	Date	Notes
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D1	21/6/19	Post DA
D2	29/8/19	Updates
D3	17/10/19	Compliance
D4	24/10/19	Compliance
D5	30/10/19	CC
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D13	14/04/20	CC
D14	29/04/20	CC

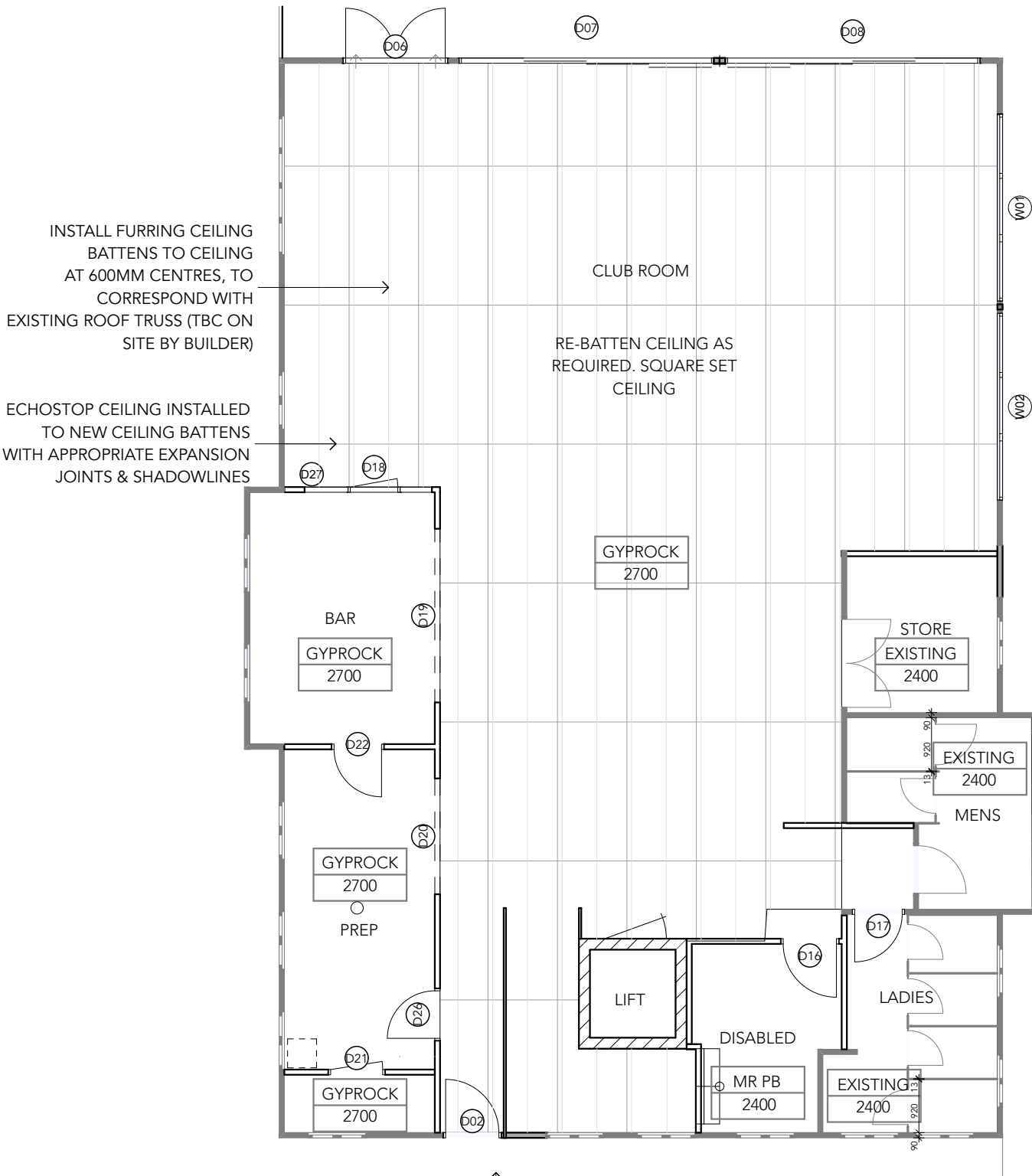
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Plot Date: 29/4/20



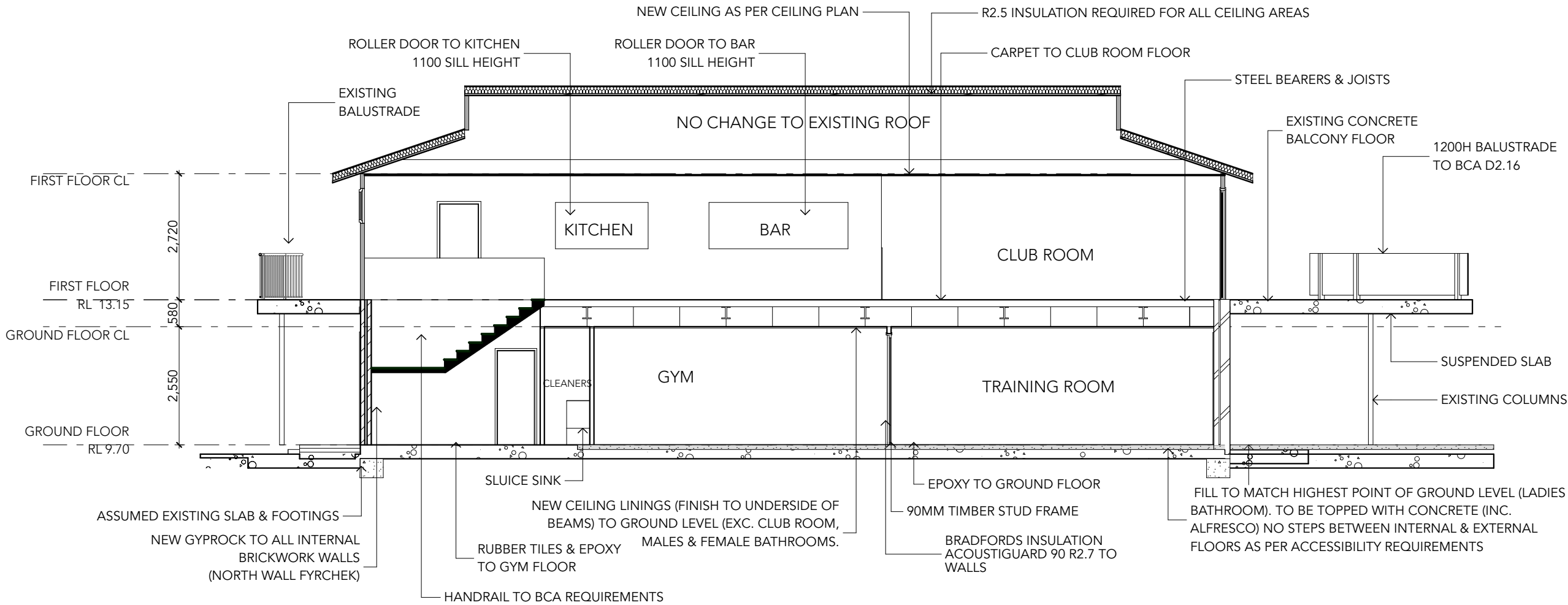
GROUND CEILING PLAN

1:100



UPPER CEILING PLAN

1:100

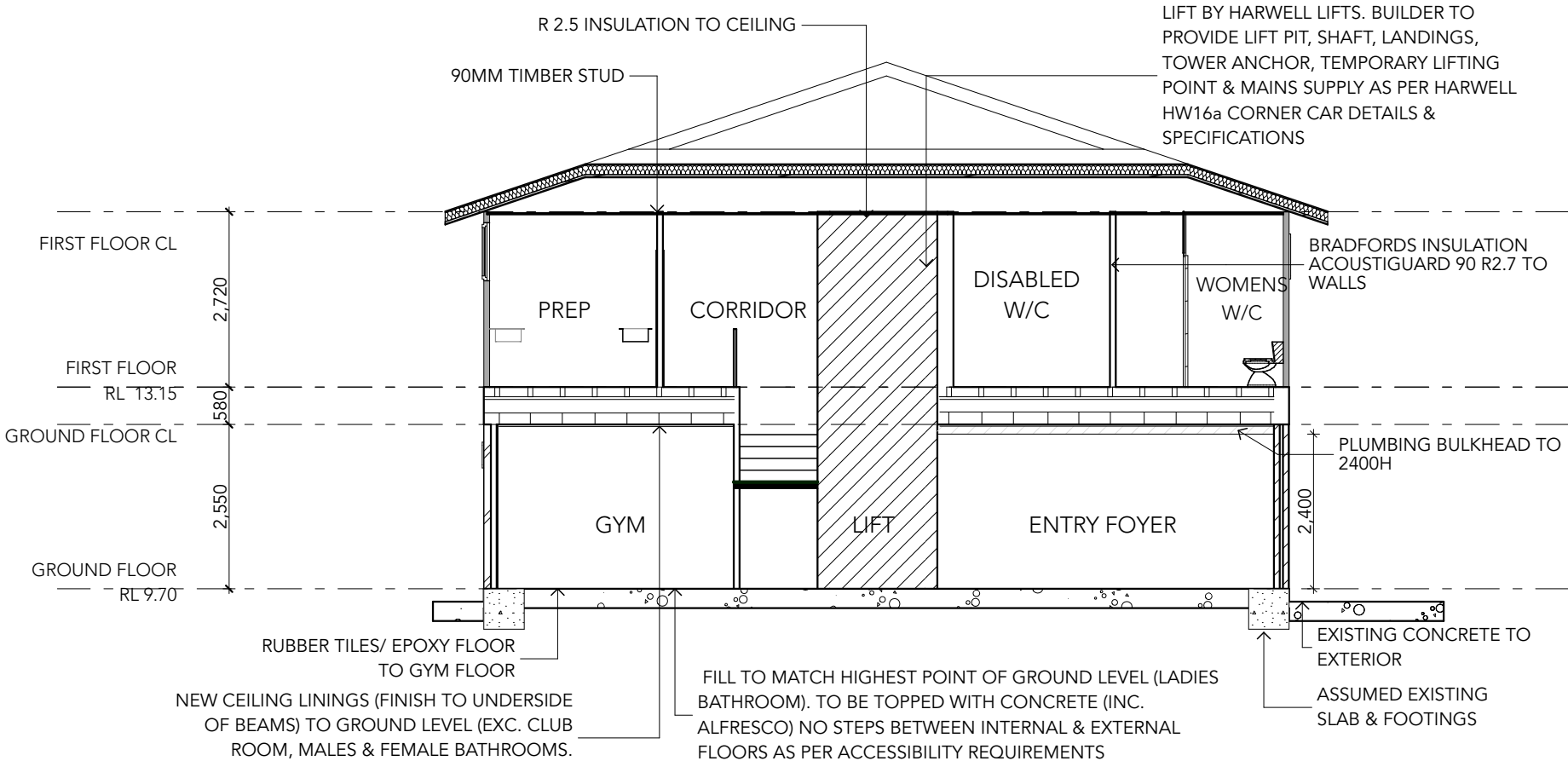


SECTION A-A

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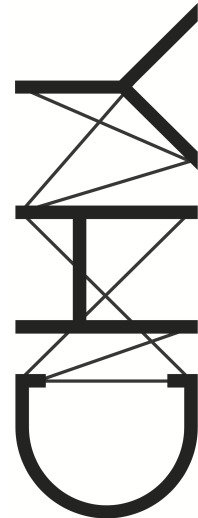
GENERAL NOTES

- IT IS THE SOLE RESPONSIBILITY TO ENSURE COMPLIANCE WITH THE RELEVANT AUSTRALIAN STANDARDS, AUTHORITIES CODES & THE BCA
- TERMITE TREATMENT TO COMPLY WITH AUSTRALIAN STANDARD 3660.1, BCA & RELEVANT LOCAL AUTHORITIES CODES - WHERE PHYSICAL BARRIERS CANNOT BE USED, A SUITABLE CHEMICAL BARRIER IS TO BE EMPLOYED. IF ENGINEERED FLOOR SLAB SYSTEM (AS2870) IS USED, SEAL PENETRATIONS WITH APPROVED COLLARS. HAND SPRAY REQUIRED UNDER MAIN FLOOR SLAB - REFER BUILDING CERTIFIER FOR DETAILED PROCEDURES.
- ALL HANDRAILS & BALUSTRADES TO COMPLY WITH THE BCA & RELEVANT AUSTRALIAN STANDARDS
- WHERE ITEMS ARE REQUIRED FOR GOOD BUILDING PRACTICE, BUT NOT INCLUDED WITH SPECIFICATIONS OR DRAWINGS NOT REFERENCED IN EITHER, CONTRACTOR TO INCLUDE
- IT IS THE SOLE RESPONSIBILITY TO PHYSICALLY LOCATE THE EXTENT OF EXISTING SERVICES AND ONSITE FEATURES BOTH ABOVE AND BELOW THE GROUND AND NOTIFY PROPRIETOR OF ANY CLASH WITH PROPOSED WORKS PRIOR TO CONSTRUCTION
- ALL FLOOR AREAS SHOWN ARE INDICATIVE AND MAY BE SUBJECT TO CHANGE DUE TO CONSTRUCTION TOLERANCES
- ALL CONTRACTORS ARE TO CHECK DRAWINGS AND NOTIFY AUTHOR OF ANY DISCREPANCIES PRIOR TO CONSTRUCTION
- CONTRACTOR TO PREPARE ADDITIONAL CONSTRUCTION DRAWINGS AND DETAILS AS DEEMED NECESSARY - OR TO NOTIFY DESIGNER OR ENGINEER PRIOR TO COMMENCING WORKS
- PLANS ARE COPYRIGHT TO THE OWNER (YOUR HOME DESIGNS) AND CANNOT BE REPRODUCED IN WHOLE OR IN PART BY ANY MEDIUM WITHOUT THE WRITTEN PERMISSION.
- ANY INSULATION MUST BE INSTALLED SO THAT IT ABUTS OR OVERLAPS ADJOINING INSULATION, FORMS A CONTINUOUS BARRIER WITH CEILINGS, WALLS, BULKHEADS, FLOORS OR THE LIKE AND DOES NOT AFFECT THE SAFE OR EFFECTIVE OPERATION OF A SERVICE OR FITTING.
- REFLECTIVE INSULATION MUST BE INSTALLED TO ACHIEVE THE REQUIRED R-VALUE BETWEEN A REFLECTIVE SIDE OF THE REFLECTIVE INSULATION AND BUILDING LINING OR CLADDING. IT MUST BE CLOSELY FITTED AGAINST ANY PENETRATION, DOOR OR WINDOW OPENING, ADEQUATELY SUPPORTED AND OVERLAPPED NOT LESS THAN 50MM OR TAPED TOGETHER.
- BULK INSULATION MUST BE INSTALLED SO THAT IT MAINTAINS ITS POSITION AND THICKNESS AND IN A CEILING WHERE THERE IS NO BULK OR REFLECTIVE INSULATION IN THE WALL BENEATH, IT OVERLAPS THE WALL BY NOT LESS THAN 50MM.



SECTION B-B

1:100



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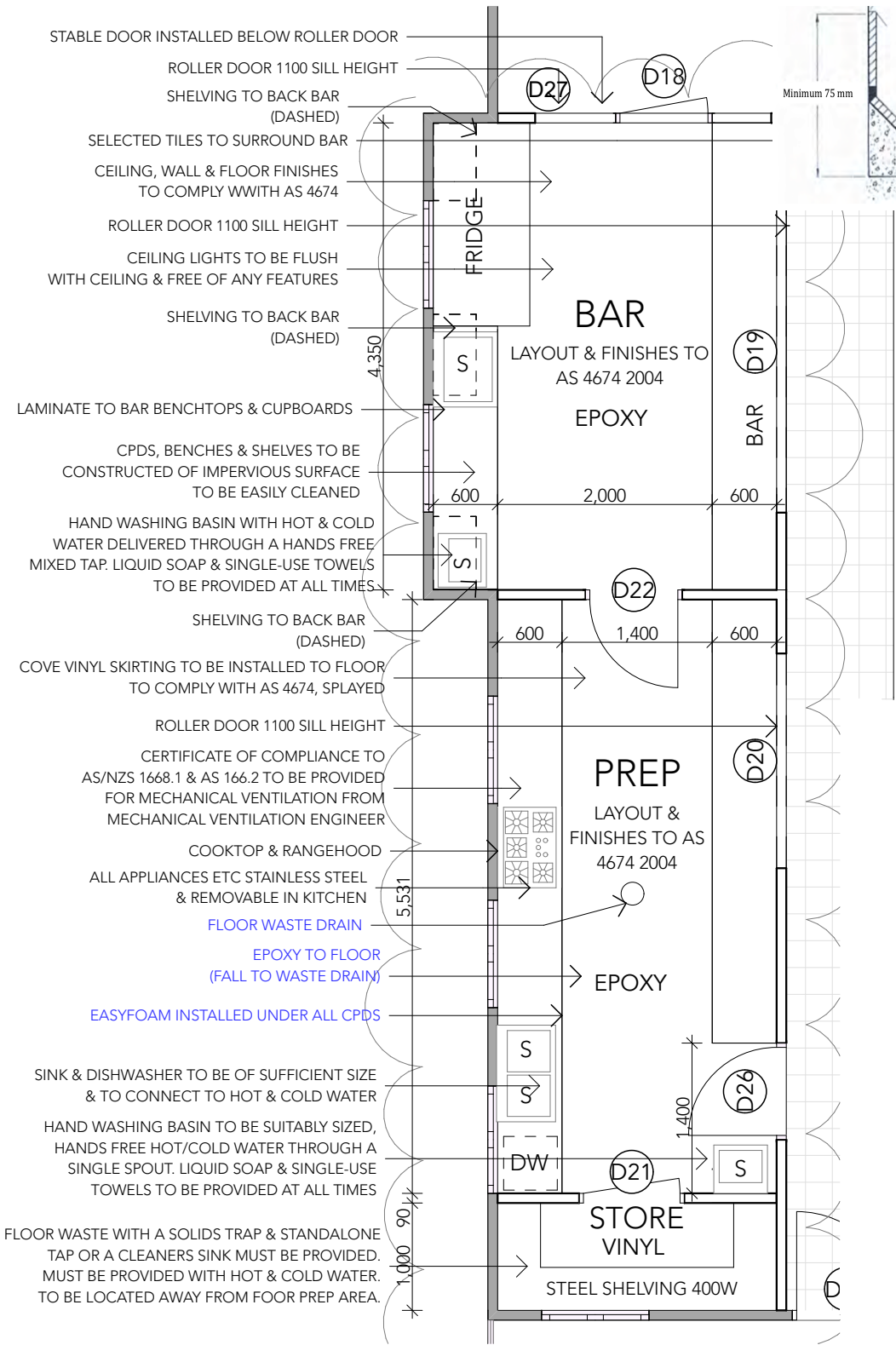
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Project Address
DP753166 BOONER STREET, HAWKS NEST

Drawing Title:
SECTION

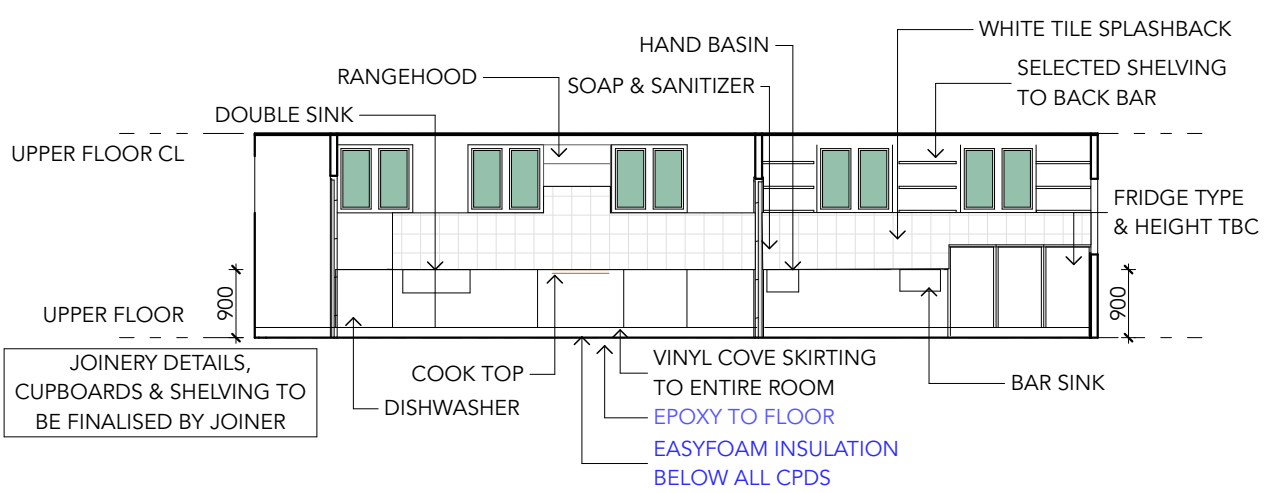
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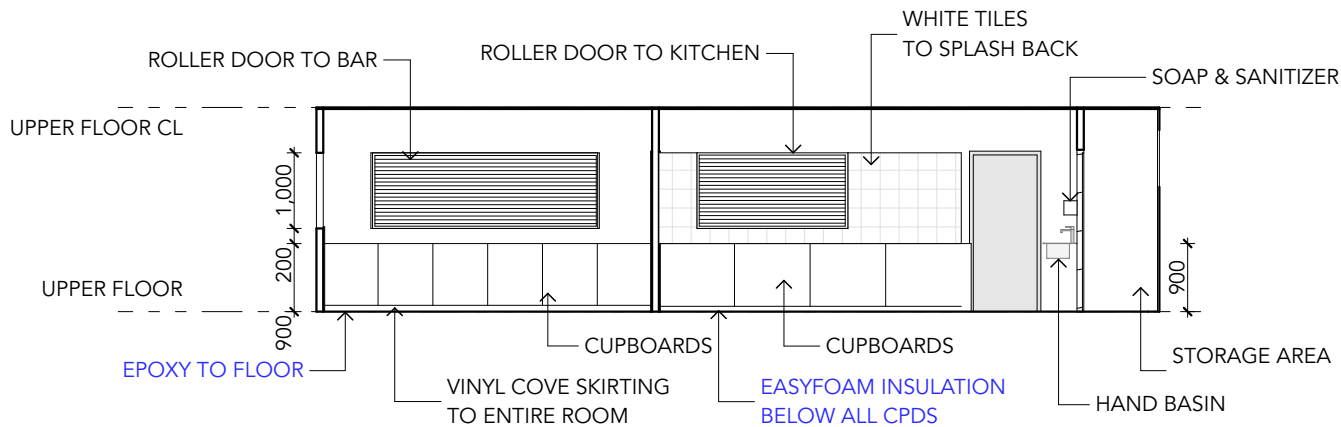
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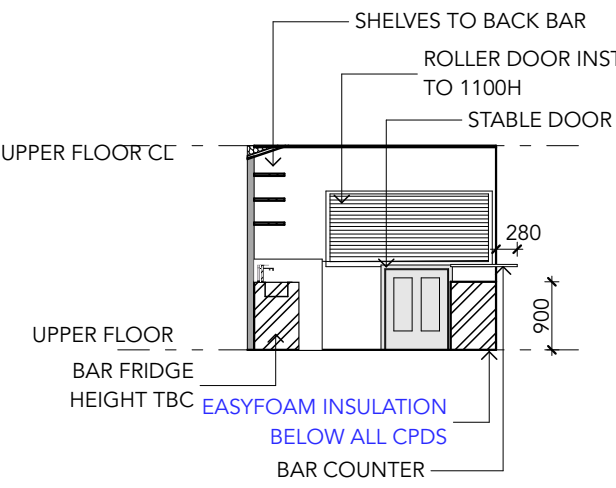
BAR & PREP DETAIL 1:60



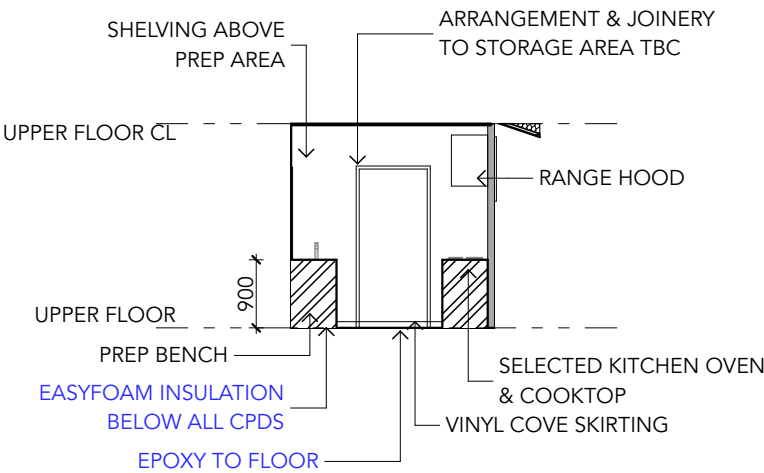
PREP / BAR 1:100



PREP / BAR 1:100



PREP / BAR 1:100

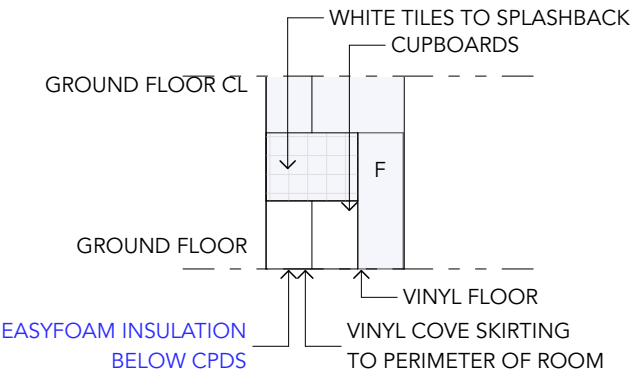


PREP / BAR 1:100

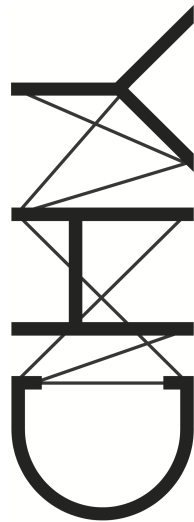
GENERAL NOTES:

ARCHITECTURAL PLANS TO BE READ IN CONJUNCTION WITH HYDRAULIC AND MECHANICAL EXHAUST VENTILATION DRAWINGS. FOOD SHOP FITOUT PLANS AND DETAILS IN ACCORDANCE WITH FOOD ACT, REGS, FOOD STANDARDS CODE, AS 4674-2004). THE FOLLOWING IS NOTED:

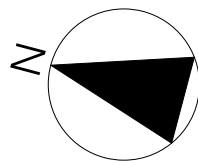
- HAND WASH BASIN TO BE SUITABLY SIZED TO ALLOW EASY & EFFECTIVE HAND WASHING, HANDS FREE HOT/COLD WATER THROUGH A SINGLE SPOUT.
- THE HAND BASINS MUST BE PROVIDED WITH LIQUID SOAP AND SINGLE USE TOWELS.
- CEILING, WALL AND FLOOR FINISHES IN THE FOOD PREMISES MUST COMPLY WITH AS 4674: DESIGN CONSTRUCTION AND FIT-OUT OF FOOD PREMISES. THIS INCLUDES:
 - SOLID CEILING (DROP IN CEILING TILES NOT PERMITTED)
 - SOLID WALL CONSTRUCTION (NO VOIDS)
 - CUPBOARDS ARE TO BE SETUP 150MM OFF THE FLOOR AND BE OPEN FOR CLEANING OR THE AREA BENEATH THE BOTTOM SHELF IS TO BE OF SOLID CONSTRUCTION (NO VOIDS)
- ALL CUPBOARDS, BENCHES AND SHELVING MUST BE CONSTRUCTED OF MATERIALS THAT ARE SMOOTH, IMPERVIOUS TO MOISTURE AND ABLE TO BE CLEANED EASILY.
- CEILING LIGHTS MUST BE EITHER INSTALLED FLUSH WITH THE CEILING SURFACE OR DESIGNED FREE FROM ANY FEATURES (SUCH AS LEDGES)
- COVING MUST BE INSTALLED AT THE INTERSECTION OF FLOORS WITH WALLS IN THE FOOD PREMISES IN ACCORDANCE WITH AS 4674: DESIGN CONSTRUCTION AND FIT-OUT OF FOOD PREMISES. COVING MUST BE INTEGRAL TO THE SURFACE FINISH OF BOTH FLOOR AND WALL AND INSTALLED IN SUCH A MANNER AS TO FORM A CONTINUOUS UNINTERRUPTED SURFACE.
- EITHER A FLOOR WASTE WITH A SOLIDS TRAP AND STAND ALONE TAP OR A CLEANERS SINL (SLUICE SINK) MUST BE PROVIDED. CLEANERS SINKS MUST BE PROVIDED WITH AN ADEQUATE SUPPLY OF HOT AND COLD WATER AND BE LOCATED AWAY FROM FOOD PREPARATION AREAS.
- A MINIMUM OF A SINGLE BOWL SINK AND A COMMERCIAL GRADE DISHWASHER OR DOUBLE BOWL SINK SHALL BE PROVIDED AND SHALL BE CONNECTED TO A CONTINUOUS SUPPLY OF HOT AND COLD WATER. TO POT SIZE OF THE SINK MUST BE ADEQUATE IN SIZE TO EFFECTIVELY CLEAN AND SANITISE THE LARGEST OF ITEM OF EQUIPMENT.



GROUND KITCHENETTE 1:100



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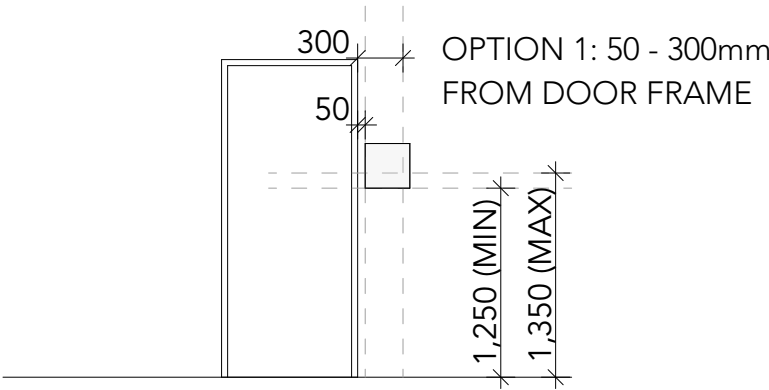
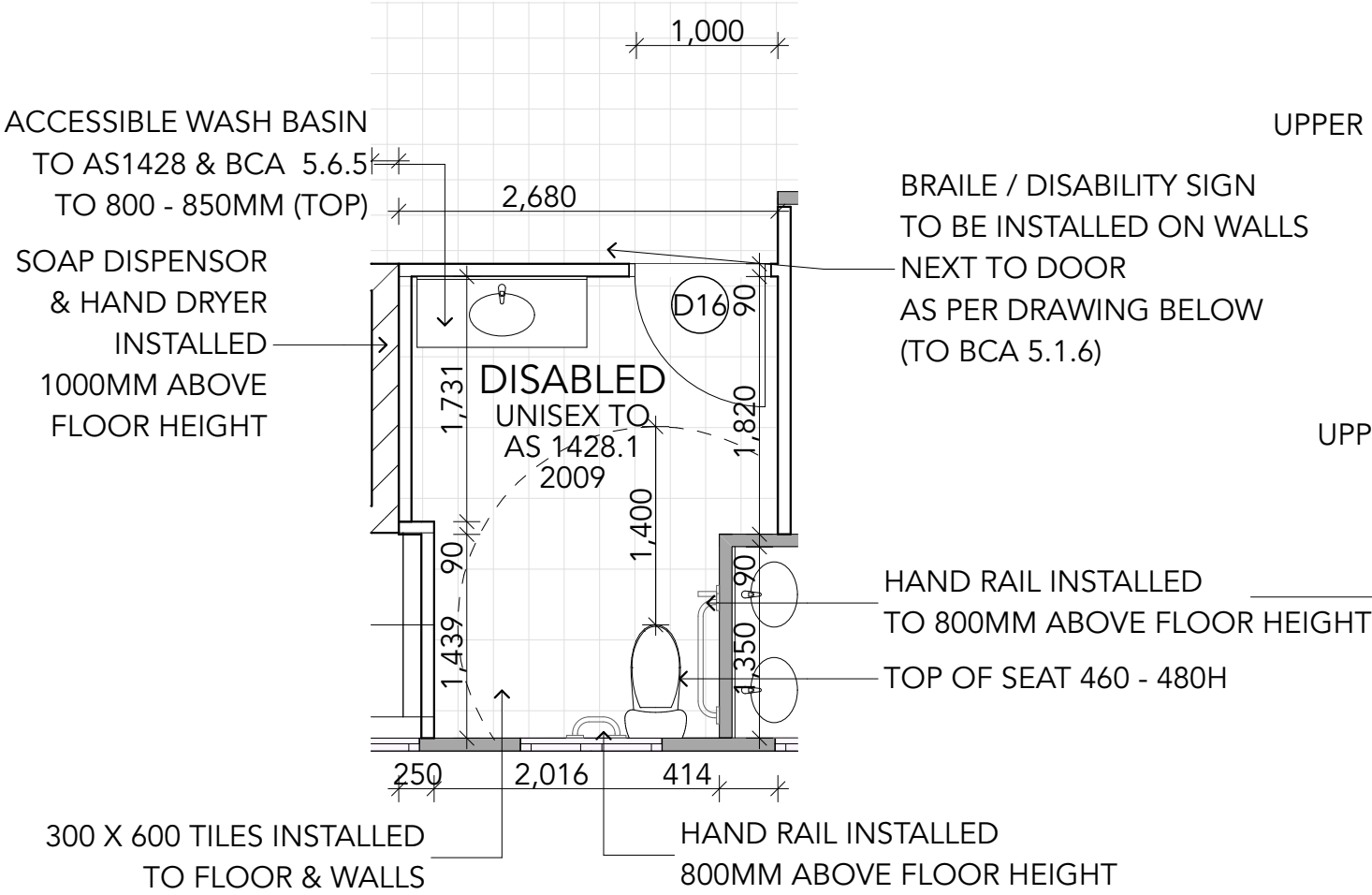
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Project Address
DP753166 BOONER STREET, HAWKS NEST

Drawing Title:
INTERIOR
ELEVATIONS 1

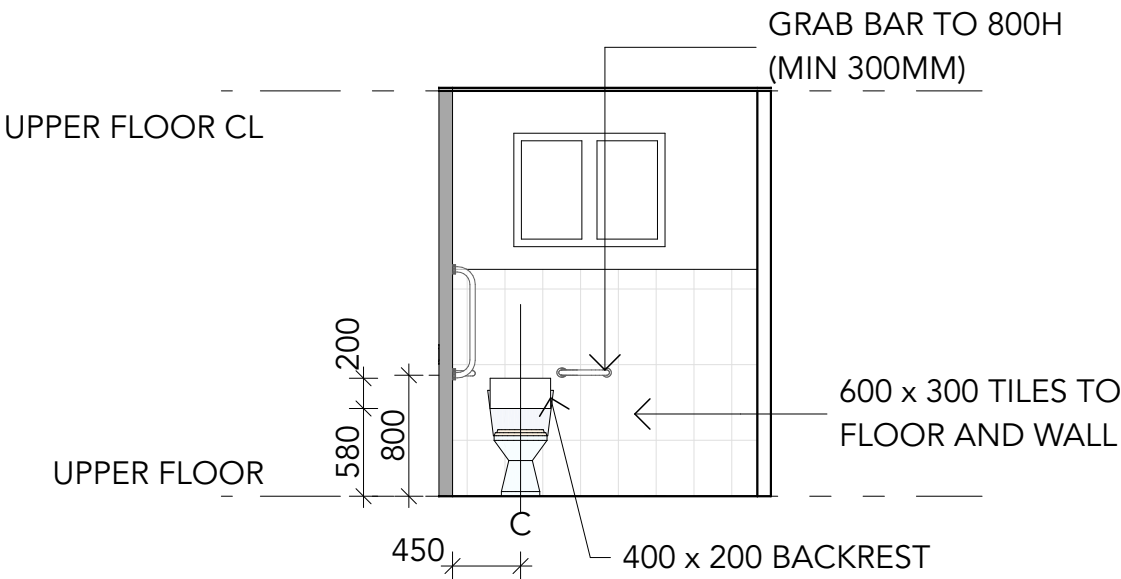
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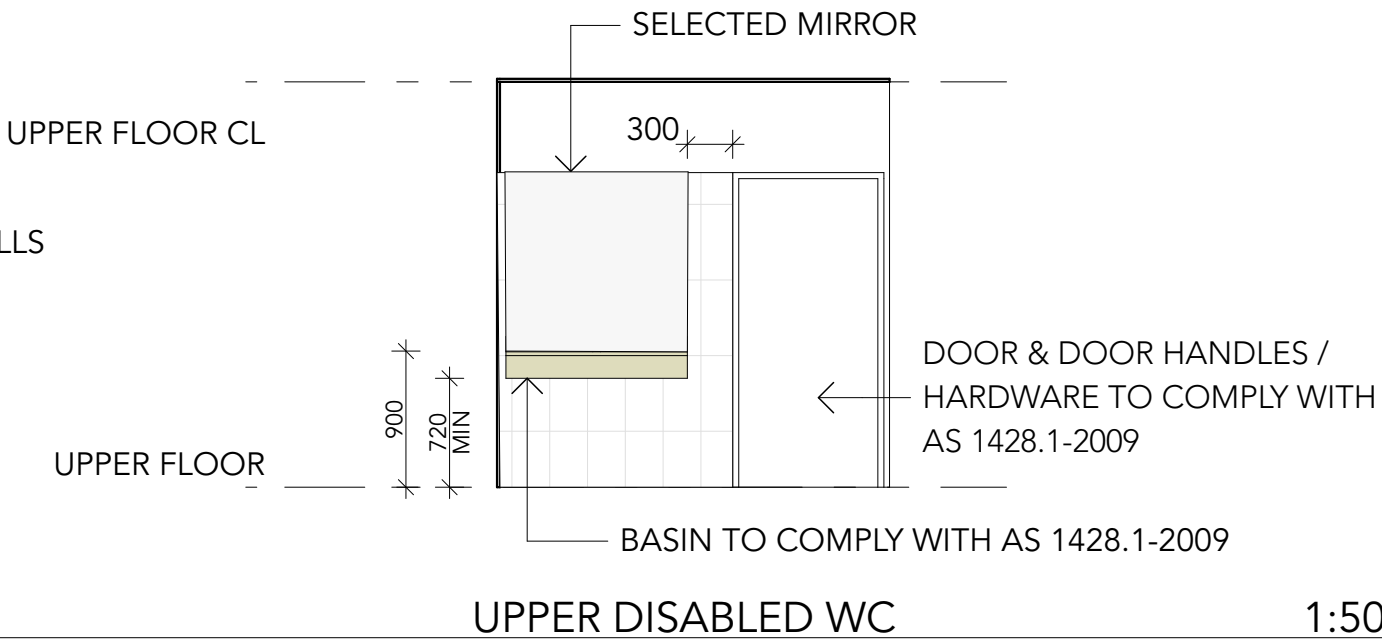
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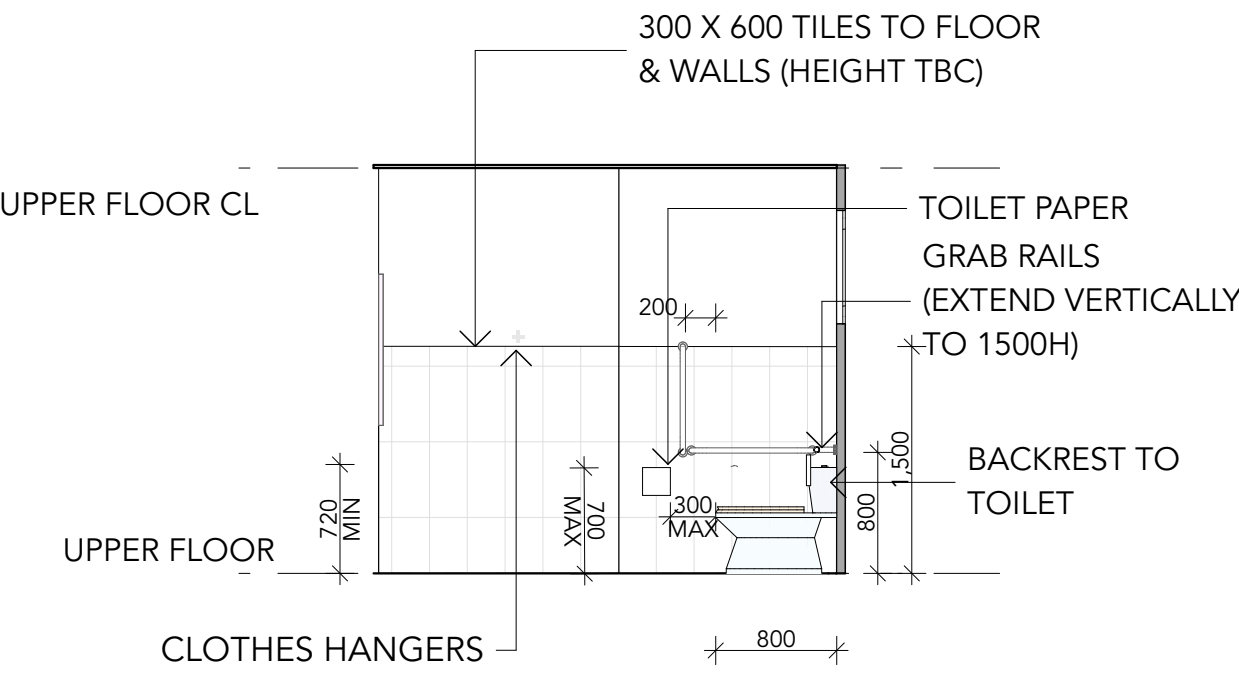
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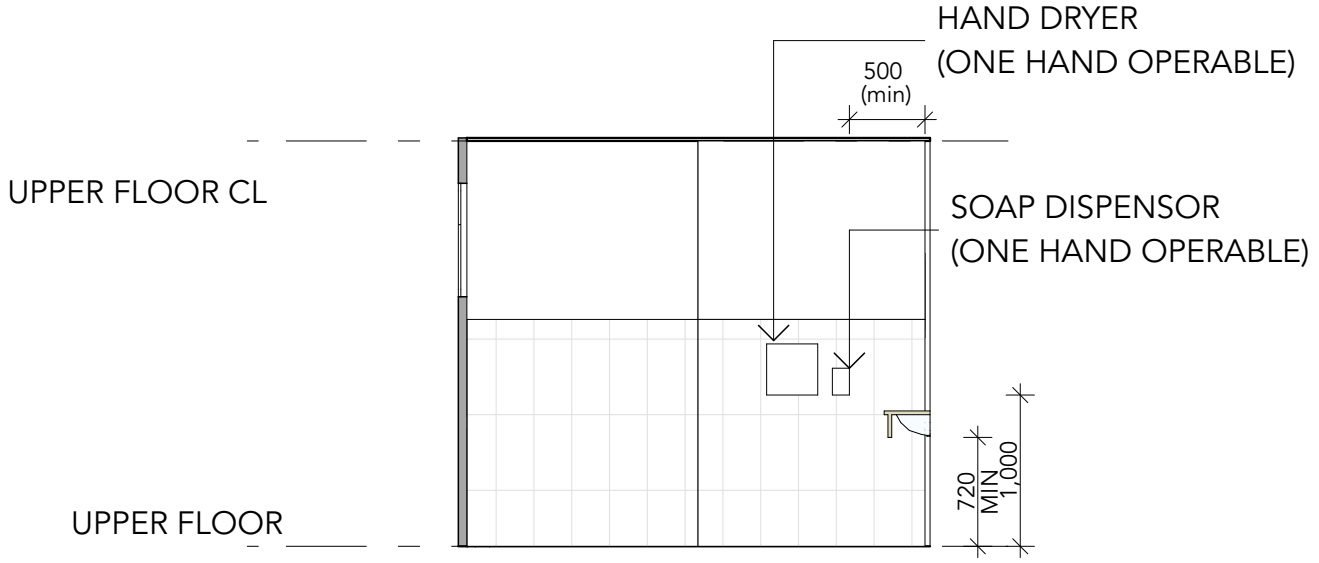
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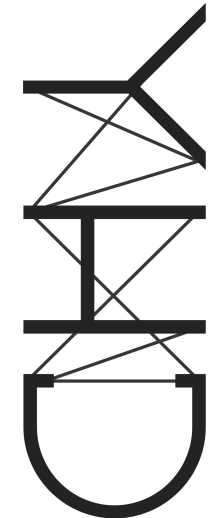
UPPER DISABLED WC 1:50



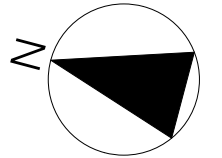
UPPER DISABLED WC 1:50



UPPER DISABLED WC 1:50



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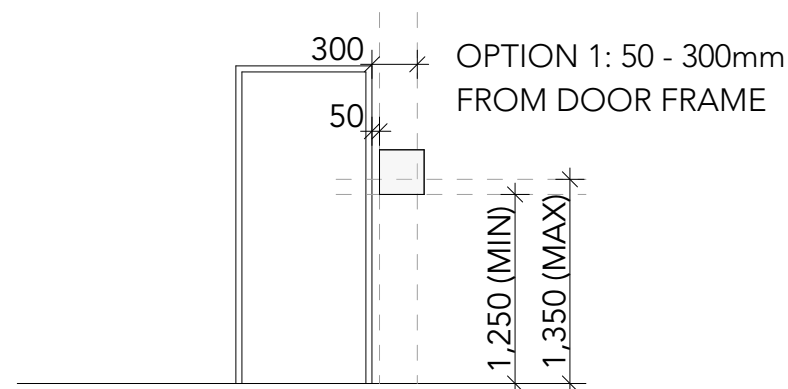
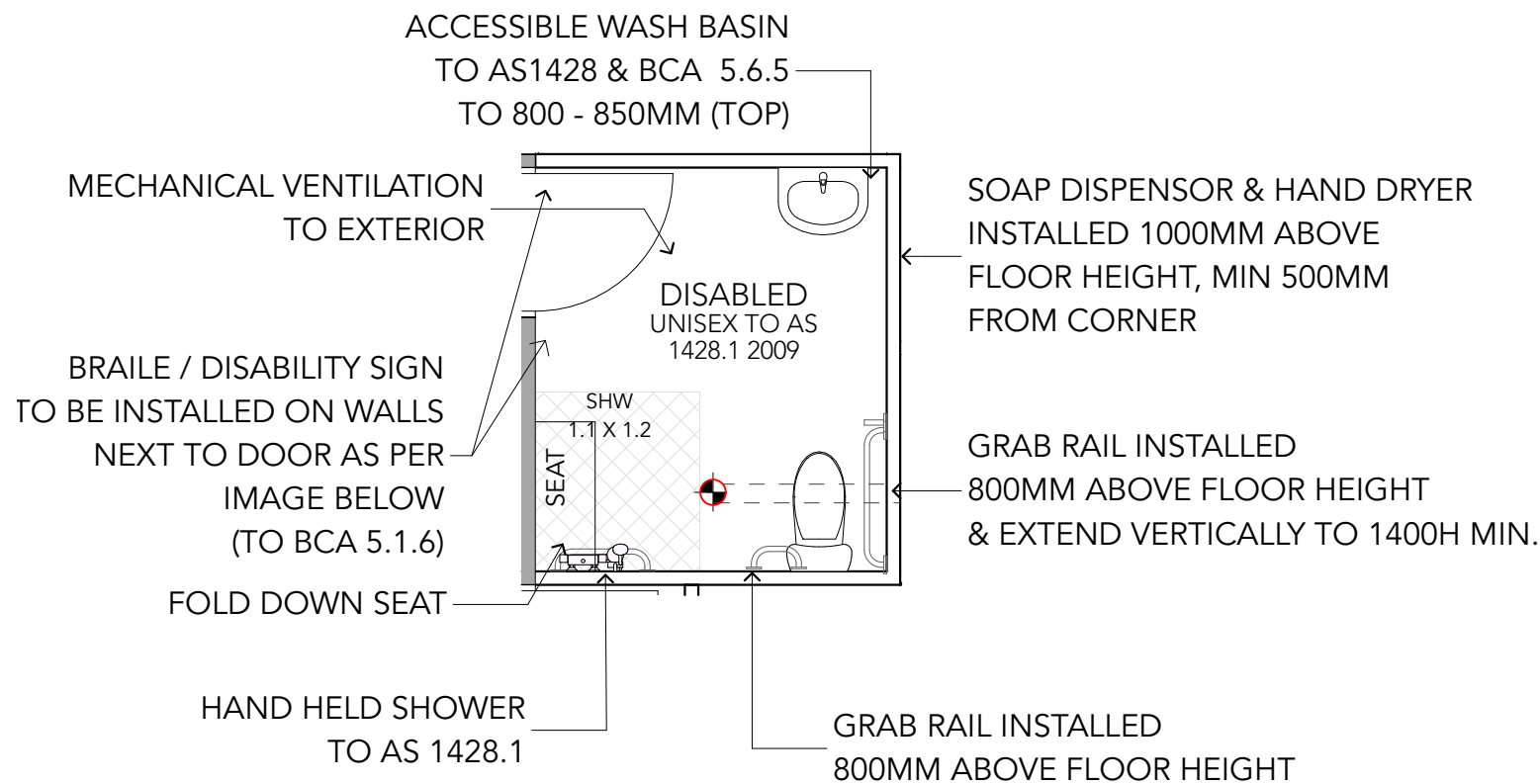
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HAWKS NEST SURF CLUB
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Drawing Title:
INTERIOR ELEVATIONS 2

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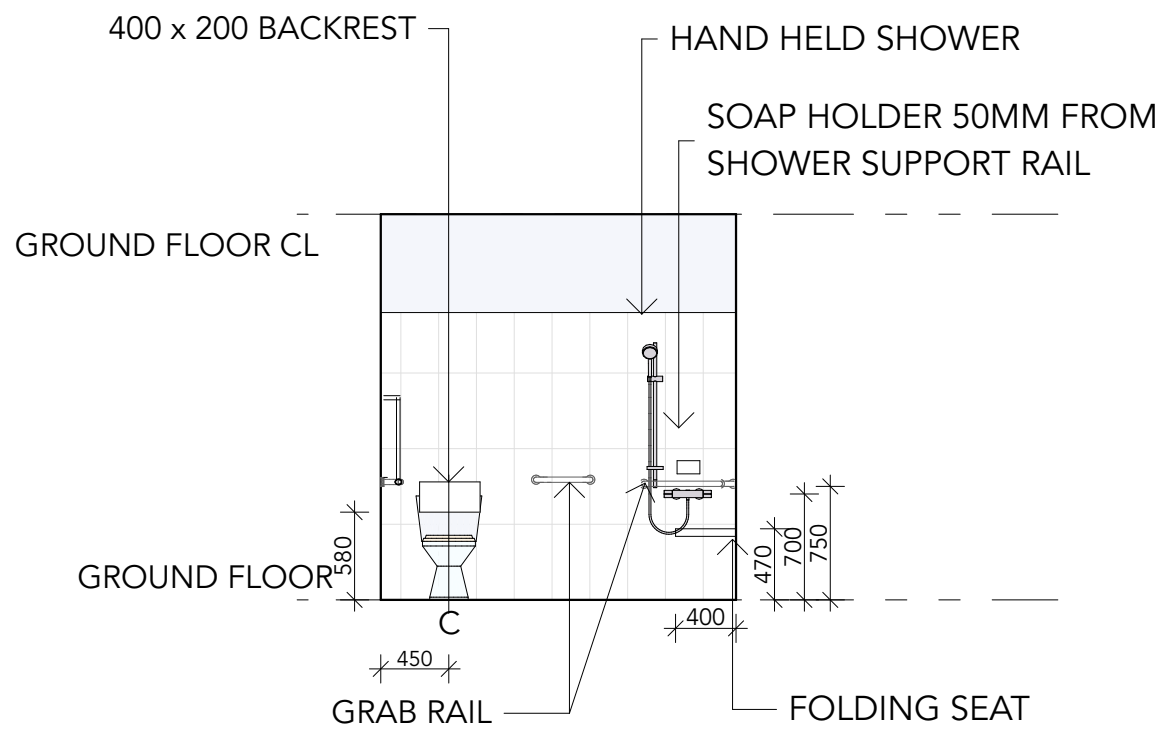
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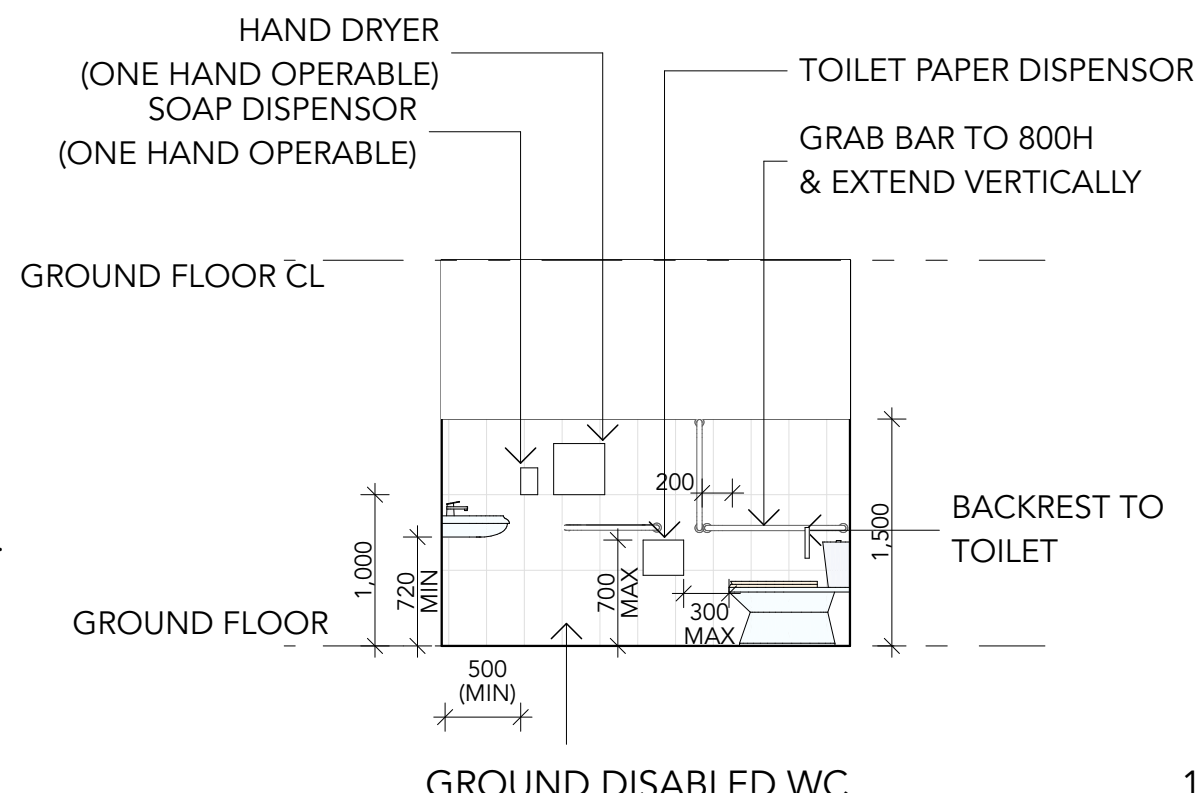
DISABILITY TOILET SIGN

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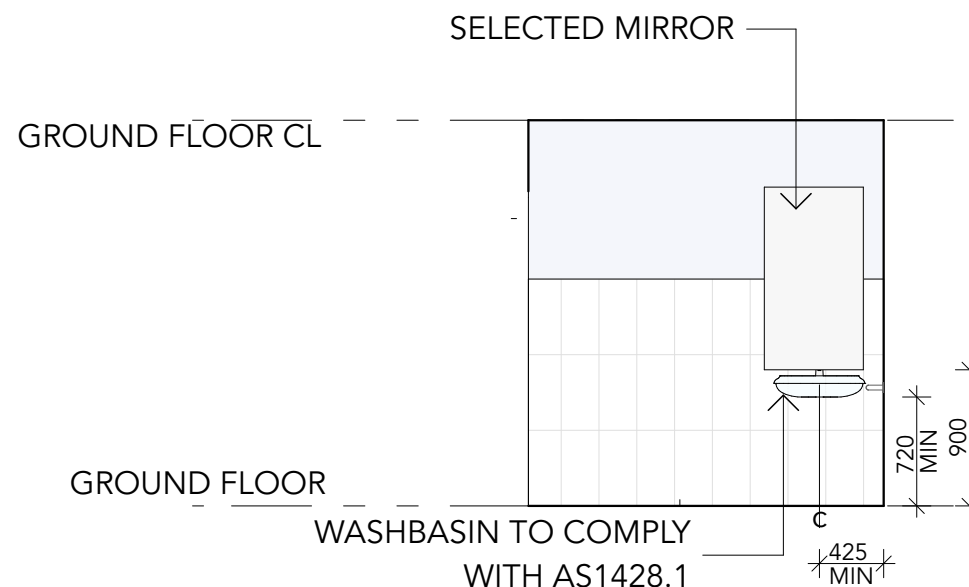
GROUND DISBLED WC

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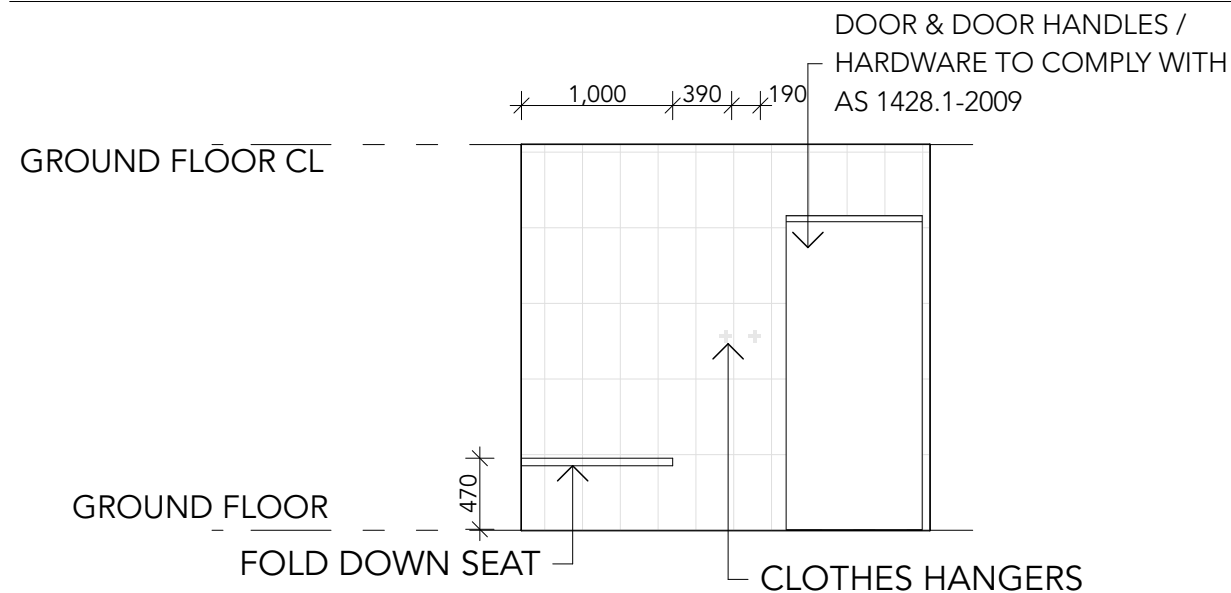
GROUND DISABLED WC

1:50



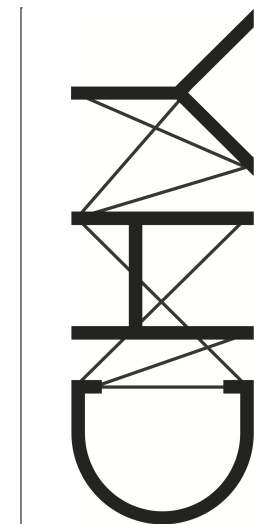
GROUND DISABLED WC

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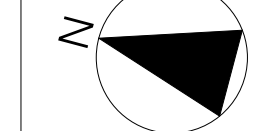


GROUND DISABLED WC

1:50



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ALL BOUNDARIES, SETOUTS &
CONTOURS ARE SUBJECT TO SURVEY.
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TOTAL DOCUMENTATION PACKAGE

CPD	CUPBOARD
DN	DOWN
DP	DOWNPIPE
DR	DRYER
DW	DISHWASHER
FG	FRIDGE
FEL	FINISHED FLOOR LEVEL
PT	PANTRY
RL	RELATIVE LEVEL
S	SINK
SHW	SHOWER
T.O.W	TOP OF WALL
WC	TOILET
WIL	WALK IN LINEN
WM	WASHING MACHINE

FLOOR AREAS

GROUND INTERNAL	211.58m ²
STAIRS / LIFT SHAFT	9.19m ²
UPPER INTERNAL	222.55m ²
UPPER BALCONY	61.53m ²
MAINTENANCE PLATFORM	22.94m ²
TOTAL	527.79m²

Client
HAWKS NEST SURF CLUB
Project Address
DP753166 BOONER
STREET, HAWKS NEST

Drawing Title:
INTERIOR
ELEVATIONS 3

Rev	Date	Notes
C1	25/3/19	CC
D1	21/6/19	Post DA
D2	29/8/19	Updates
D3	17/10/19	Compliance
D4	24/10/19	Compliance
D5	30/10/19	CC
D9	18/2/20	CC
D11	01/3/20	CC
D12	02/03/20	CC
D13	14/04/20	CC
D14	29/04/20	CC

Job Ref:	Page No:	Rev
YDH-070	CC.18	D14

Plot Date: 29/4/20

NOTE:

- PROPOSED AMBULANT FACILITIES TO COMPLY WITH AS 1428.1:2009
- MIN. DOOR WIDTH 700MM
- CUBICLE WIDTH 900 - 920MM
- DISTANCE BETWEEN EDGE OF TOILET & DOOR MIN. 900MM
- COMPLIANT GRAB RAILS INSTALLED
- COAT HOOK INSTALLED BETWEEN 1350 - 1500H FROM FLOOR
- AMBULANT SIGNAGE INSTALLED

RETAIN EXISTING FIXTURE LOCATIONS, REPLACE
TOILETS, VANITIES, MIRRORS & ALL PC ITEMS

ALL NEW FLOOR & WALL TILES.
(WALLS TO BE WATERPROOFED)

NEW PARTITIONS
TO CUBICLES

SWING DOOR OUT

EXISTING
WINDOWS
TO GENTS

REPLACE ALL
DOWNLIGHTS
(SAME
LOCATIONS)

EXISTING
WINDOWS
TO LADIES

NEW PARTITIONS
TO CUBICLES

REPLACE ALL DOWNLIGHTS
(SAME LOCATIONS)

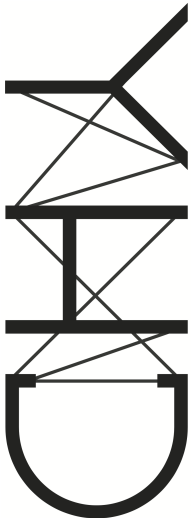
ALL NEW FLOOR & WALL TILES.
(WALLS TO BE WATERPROOFED)

SWING DOOR OUT

NEW DISABLED / UNISEX
WITH ALL NEW FITTINGS &
FIXTURES
TOILET (SEE CC.18)

RETAIN EXISTING FIXTURE LOCATIONS, REPLACE
TOILETS, VANITIES, MIRRORS & ALL PC ITEMS

UPPER BATHROOM DETAIL 1:50



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T.O.W	TOP OF WALL
TOILET	TOILET
WIL	WALK IN LINEN
WM	WASHING MACHINE

FLOOR AREAS

GROUND INTERNAL	211.58m²
STAIRS / LIFT SHAFT	9.19m²
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UPPER BALCONY	61.53m²
MAINTENANCE PLATFORM	22.94m²
TOTAL	527.79m²

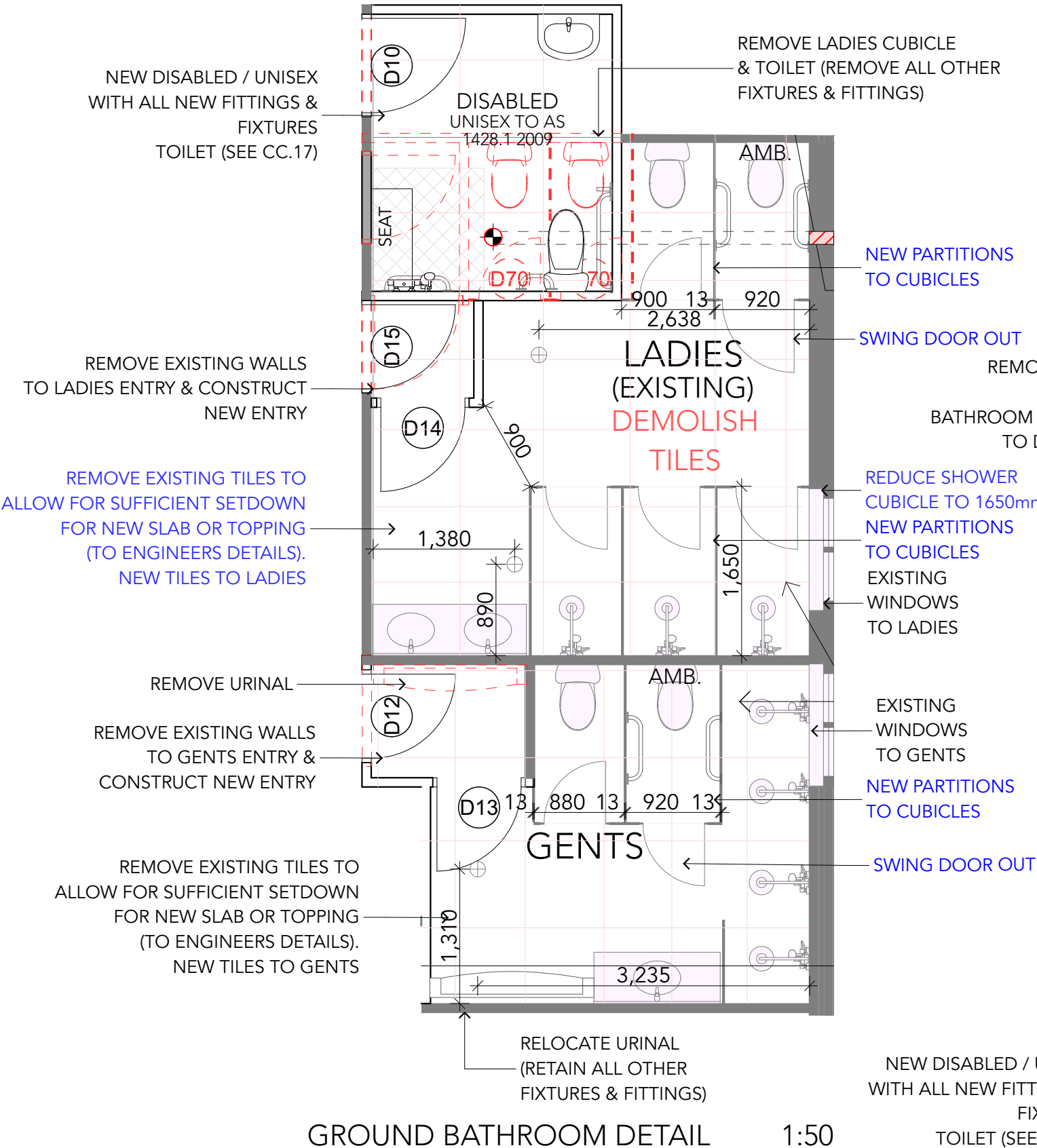
Client
HAWKS NEST SURF CLUB
Project Address
DP753166 BOONER
STREET, HAWKS NEST

Drawing Title:
BATHROOM DETAIL

Rev	Date	Notes
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D1	21/6/19	Post DA
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D3	17/10/19	Compliance
D4	24/10/19	Compliance
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D9	18/2/20	CC
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D12	02/03/20	CC
D13	14/04/20	CC
D14	29/04/20	CC

Job Ref:	Page No:	Rev
YDH-070	DA.19	D14

Plot Date: 29/4/20

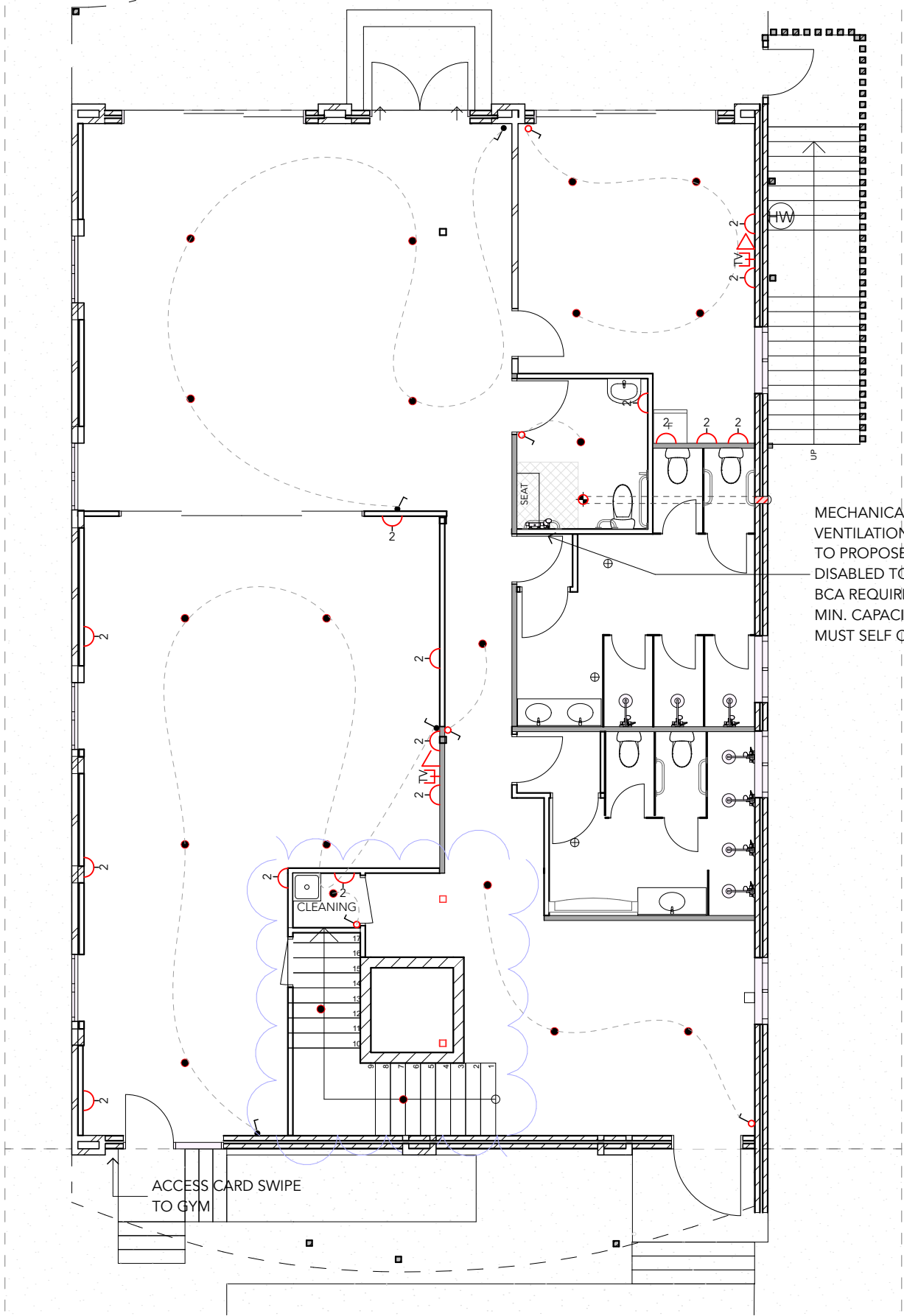


GROUND BATHROOM DETAIL 1:50

ELECTRICAL LEGEND	
	GPO WALL SOCKET (SINGLE OR DOUBLE) MOUNTED 300 ABOVE FL OR 300 ABOVE BENCH
	ONE WAY SWITCH MOUNTED 1300 ABOVE FL
	TWO WAY SWITCH MOUNTED 1300 ABOVE FL
	1200 FLUORESCENT LIGHT (28W)- UNVENTED
	WEATHERPROOF WALL SOCKET (SINGLE OR DOUBLE)
	15W LED DOWN LIGHT - UNVENTED
	SENSOR LIGHT
	FAN / LIGHT / HEAT TASTIC
	FEATURE LIGHTS / PENDANT
	UP / DOWN FEATURE LIGHTS (EXTERNAL)
	DATA POINT (DOUBLE)
	PHONE POINT
	TV - MOUNTED 300 ABOVE FL
	CEILING FAN
	WITH LIGHT
	30W EXHAUST FAN CEILING MOUNTED
	SMOKE DETECTOR (HARD WIRED TO AS.3786)
	METER BOX
	DATA PATCH PANEL

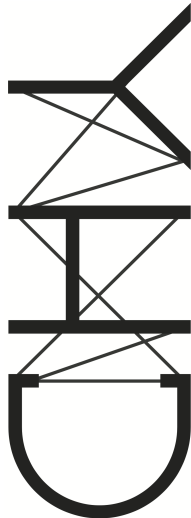
GENERAL NOTES:

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- EXISTING GPO'S + SWITCHES NOT SHOWN
- ELECTRICIAN TO CONFIRM WITH CLIENT EXISTING LOCATIONS AND PROPOSED QUANTITIES ARE ADEQUATE
- AGGREGATE DESIGN ILLUMINATION POWER LOAD MUST NOT EXCEED THE LOAD INDICATED IN TABLE J6.2(A) BCA & ANNEXE 2 OF SECTION J REPORT.
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- MECHANICAL VENTILATION SYSTEM TO COMPLY WITH J 5.2 (BCA).
- NEW EVAPORATIVE COOLER & MECHANICAL VENTILATION MUST BE SELF CLOSING.
- EXTERNAL PERIMETER LIGHTS TO BE OPERATED B DAYTIME SENSOR OR TIME SWITCH TO COMPLY WITH SPEC J6.3 OR SPEC J6.5
- REFER TO FIRE PLAN FOR FIRE SPECS
- ELECTRICAL PLAN TBC BY CLIENT

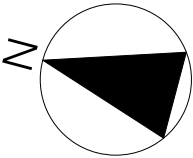


LOWER ELECTRICAL LAYOUT

1:100



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DR	DRYER
DW	DISHWASHER
FG	FRIDGE
FFL	FINISHED FLOOR LEVEL
PTY	PANTRY
RL	RELATIVE LEVEL
S	SINK
SHW	SHOWER
T.O.W	TOP OF WALL
WC	TOILET
WIL	WALK IN LINEN
WM	WASHING MACHINE

FLOOR AREAS

GROUND INTERNAL	211.58m ²
STAIRS / LIFT SHAFT	9.19m ²
UPPER INTERNAL	222.55m ²
UPPER BALCONY	61.53m ²
MAINTENANCE PLATFORM	22.94m ²
TOTAL	527.79m²

Client
HAWKS NEST SURF CLUB
Project Address
DP753166 BOONER
STREET, HAWKS NEST

Drawing Title:
LOWER ELECTRICAL
LAYOUT

Rev	Date	Notes
C1	25/3/19	CC
D1	29/6/19	Post DA
D2	29/8/19	Updates
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D4	24/10/19	Compliance
D5	30/10/19	CC
D9	18/2/20	CC
D11	01/3/20	CC
D12	02/03/20	CC
D13	14/04/20	CC
D14	29/04/20	CC

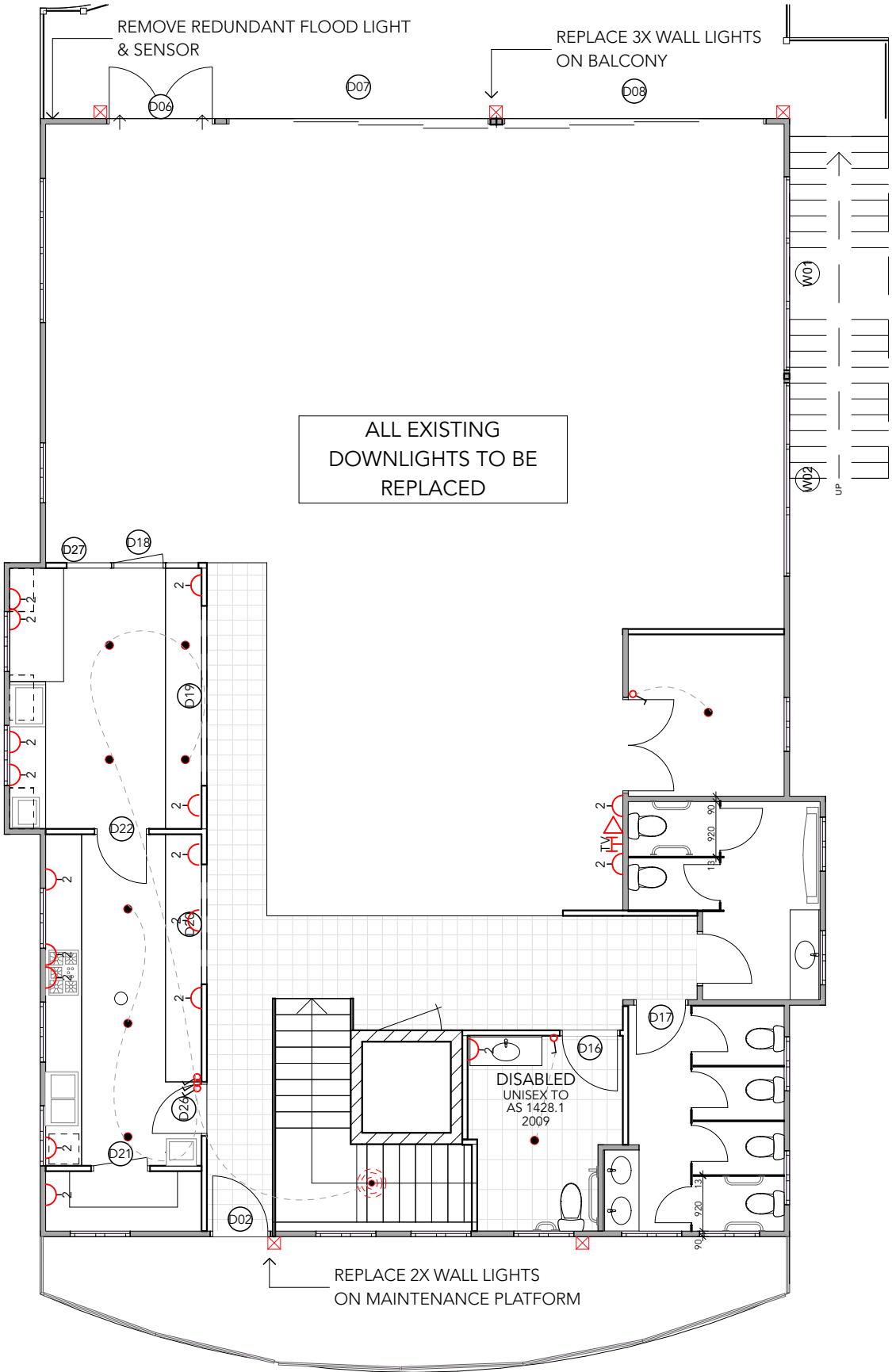
Job Ref:	Page No:	Rev
YDH-070	CC.20	D14

Plot Date: 29/4/20

ELECTRICAL LEGEND	
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	30W EXHAUST FAN CEILING MOUNTED
	SMOKE DETECTOR (HARD WIRED TO AS.3786)
	METER BOX
	DATA PATCH PANEL

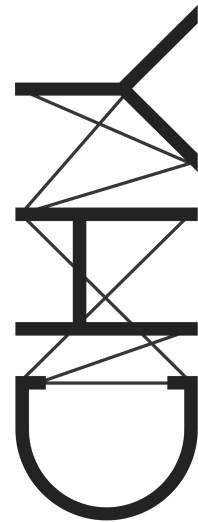
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- ELECTRICAL PLAN TBC BY CLIENT

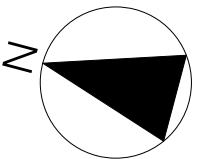


UPPER ELECTRICAL LAYOUT

1:100



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RL	RELATIVE LEVEL
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T.O.W	TOP OF WALL
WC	TOILET
WIL	WALK IN LINEN
WM	WASHING MACHINE

FLOOR AREAS

GROUND INTERNAL	211.58m ²
STAIRS / LIFT SHAFT	9.19m ²
UPPER INTERNAL	222.55m ²
UPPER BALCONY	61.53m ²
MAINTENANCE PLATFORM	22.94m ²
TOTAL	527.79m²

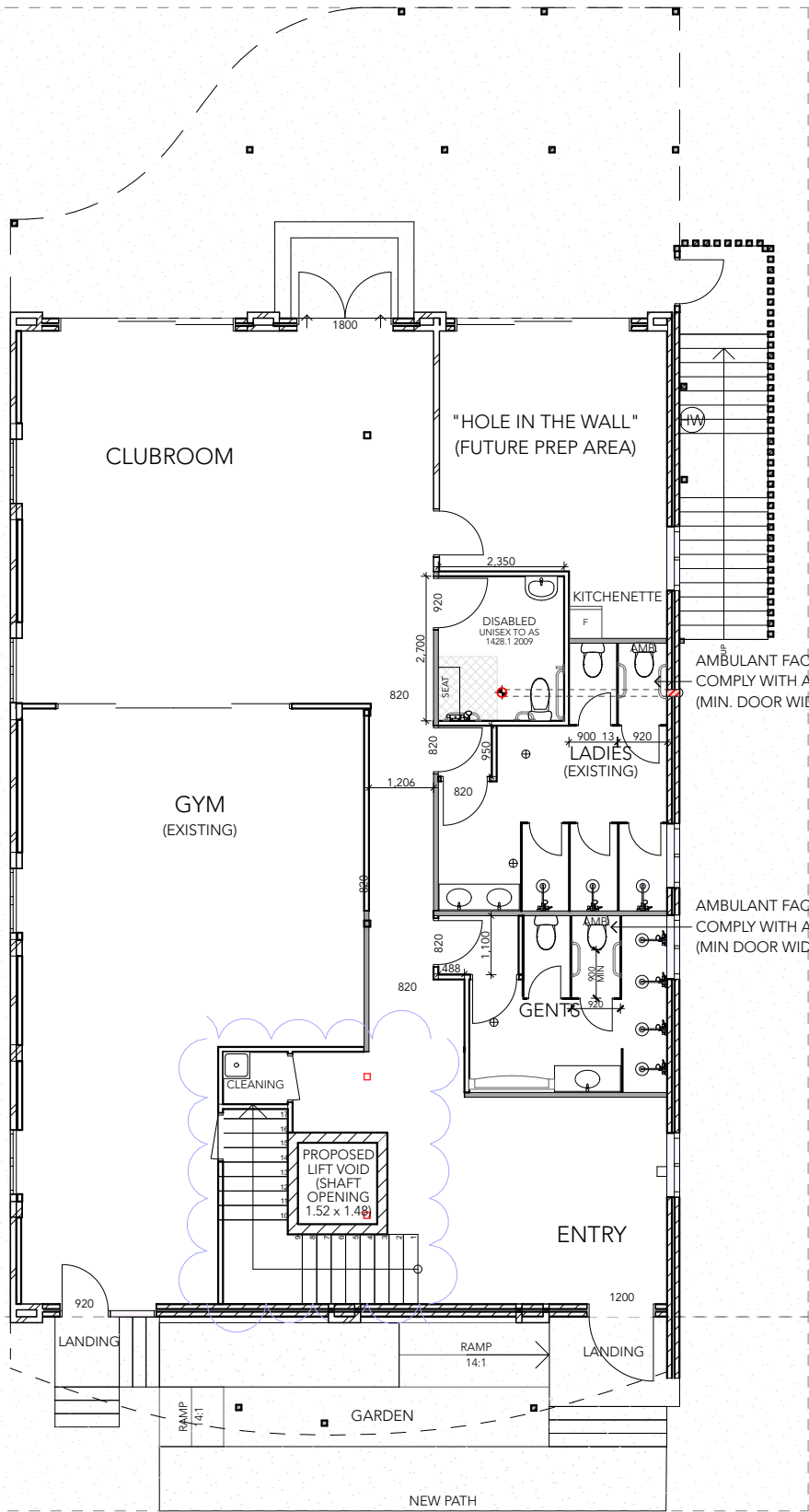
Client
HAWKS NEST SURF CLUB
Project Address
DP753166 BOONER
STREET, HAWKS NEST

Drawing Title:
UPPER ELECTRICAL
LAYOUT

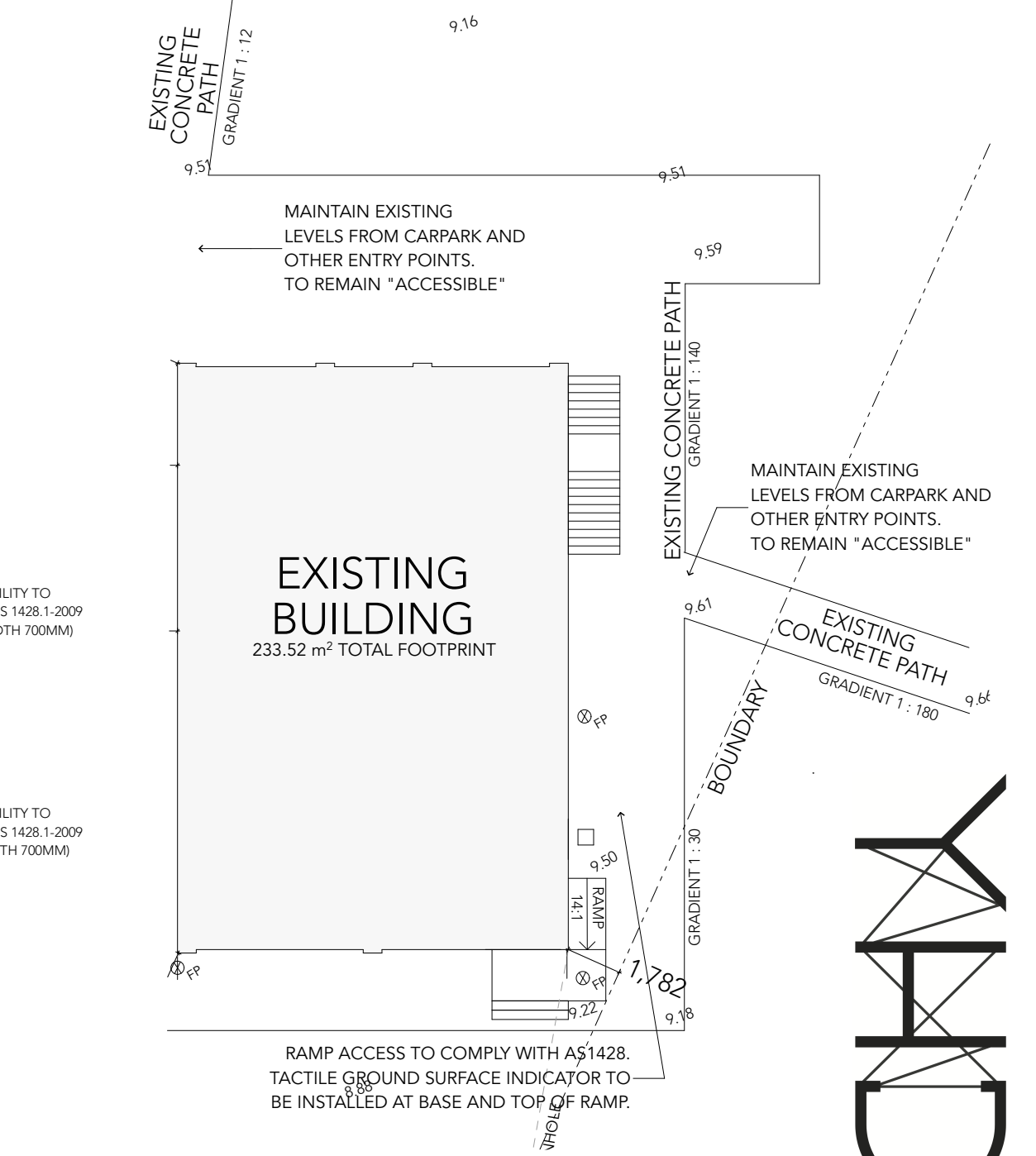
Rev	Date	Notes
C1	25/3/19	CC
D1	21/6/19	Post DA
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D4	24/10/19	Compliance
D5	30/10/19	CC
D9	18/2/20	CC
D11	01/3/20	CC
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Job Ref:	Page No:	Rev
YDH-070	CC.21	D14

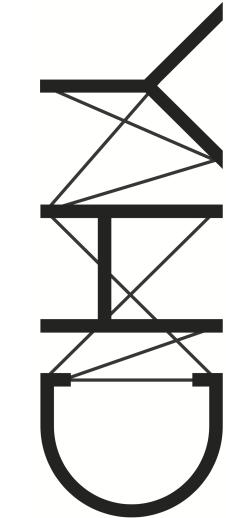
Plot Date: 29/4/20



GROUND ACCESSIBILITY PLAN



RAMP ACCESS TO COMPLY WITH AS1428.
TACTILE GROUND SURFACE INDICATOR TO
BE INSTALLED AT BASE AND TOP OF RAMP.



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WM	WASHING MACHINE

FLOOR AREAS	
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TOTAL	527.79m²

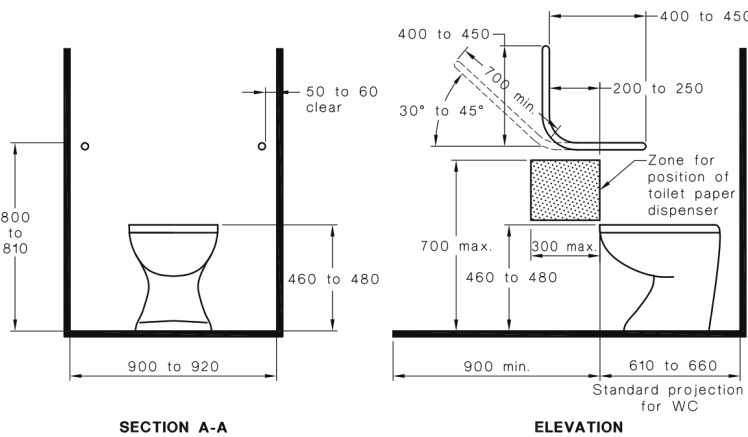
Client
HAWKS NEST SURF CLUB
Project Address
DP753166 BOONER
STREET, HAWKS NEST

Drawing Title:
ACCESSIBILITY PLAN

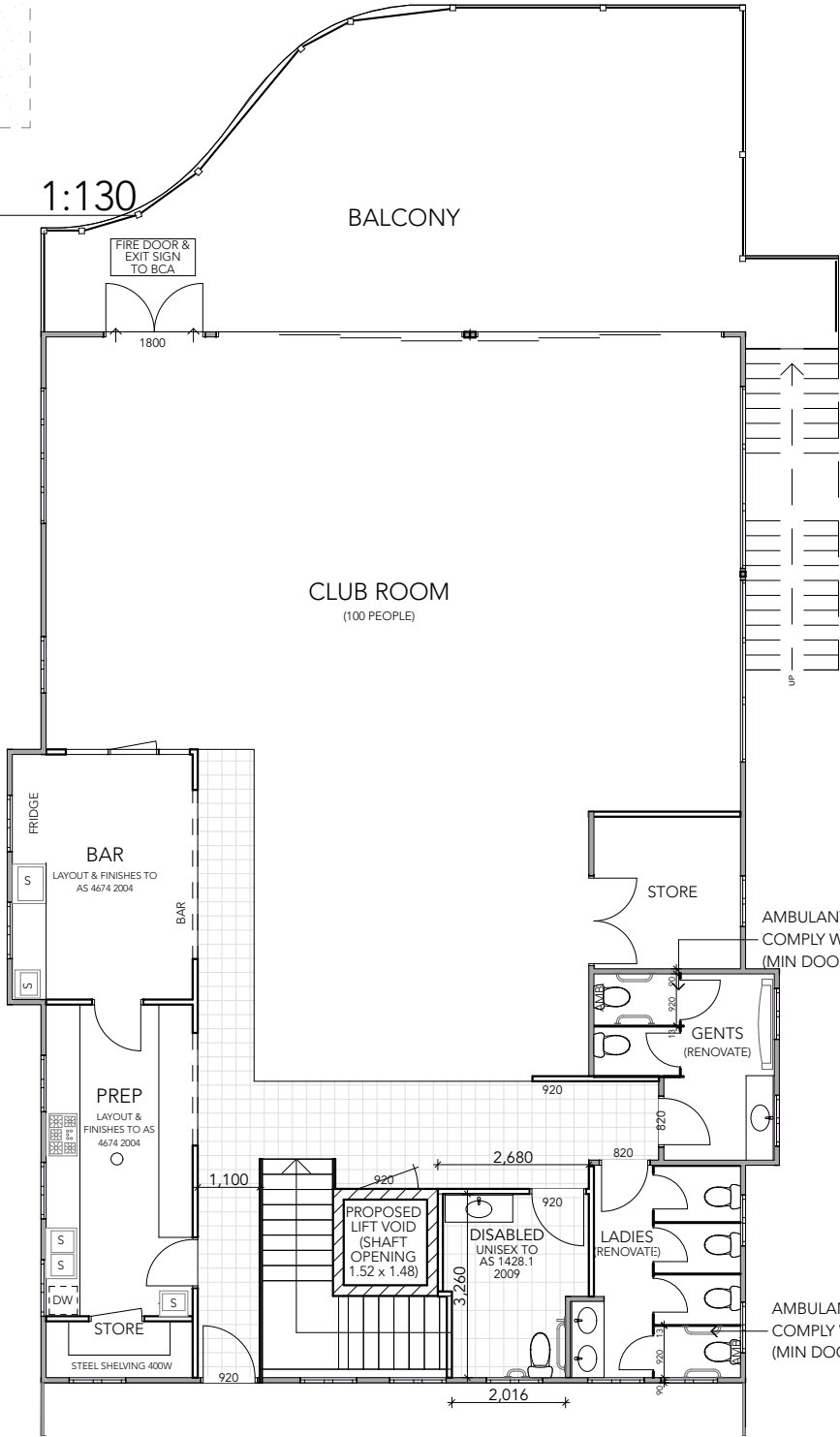
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D12	02/03/20	CC
D13	14/04/20	CC
D14	29/04/20	CC

Job Ref:	Page No:	Rev
YDH-070	CC.22	D14
Plot Date:		29/4/20

NOTE:
PROPOSED AMBULANT FACILITIES TO COMPLY WITH AS 1428.1:2009
- MIN. DOOR WIDTH 700MM
- CUBICLE WIDTH 900 - 920MM
- DISTANCE BETWEEN EDGE OF TOILET & DOOR MIN. 900MM
- COMPLIANT GRAB RAILS INSTALLED
- COAT HOOK INSTALLED BETWEEN 1350 - 1500H FROM FLOOR
- AMBULANT SIGNAGE INSTALLED



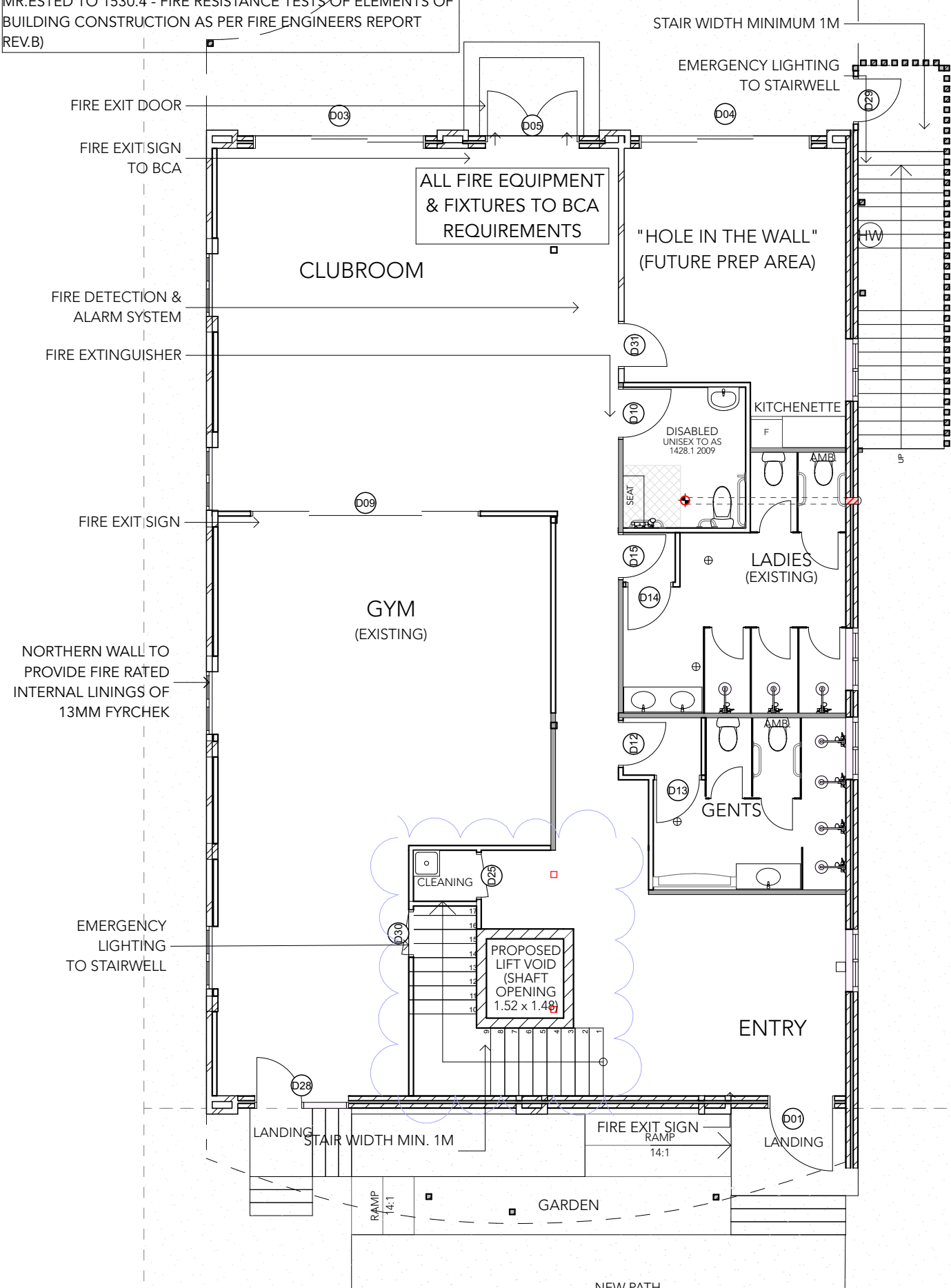
AMBULANT TOILETS



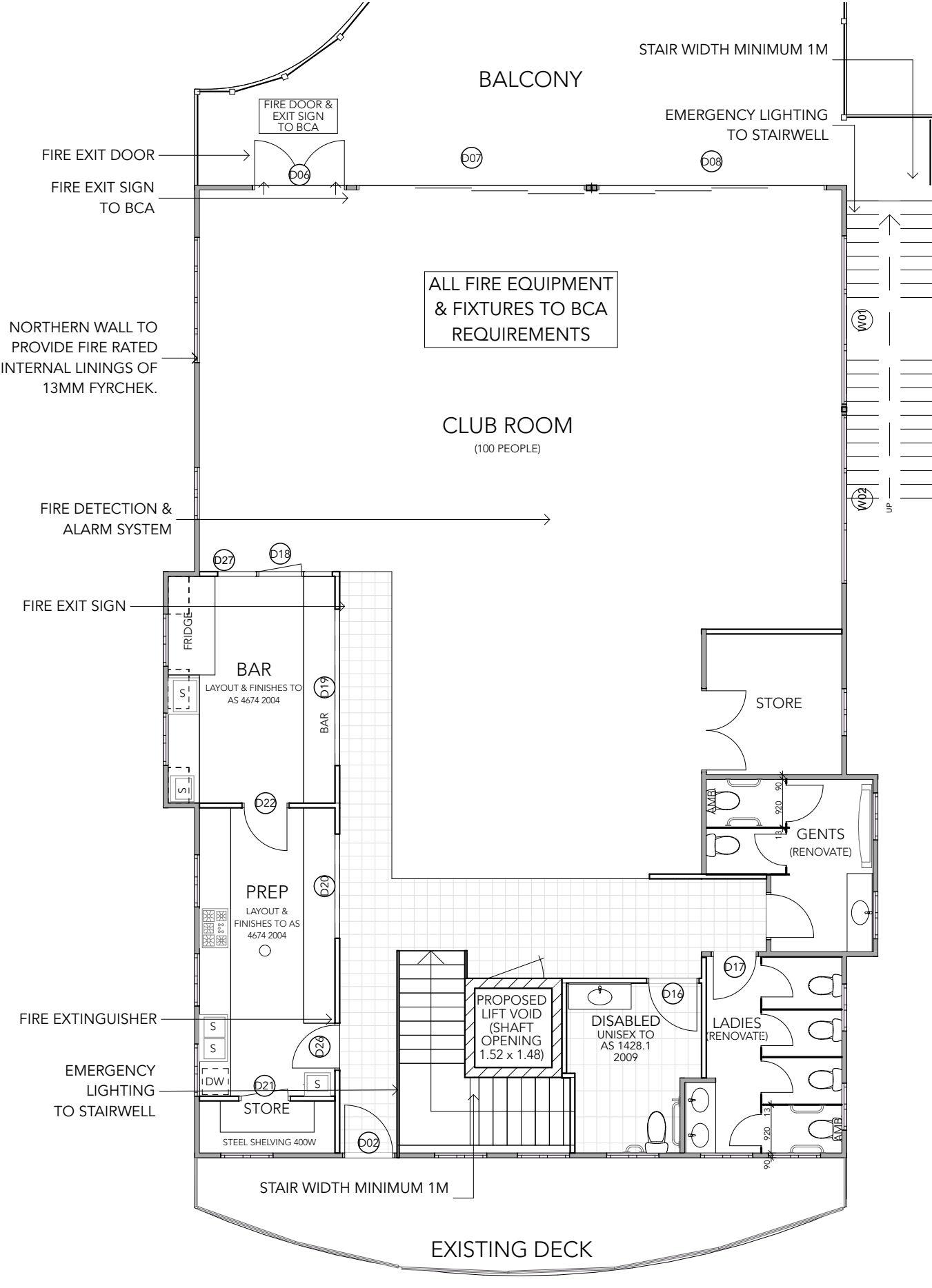
UPPER ACCESSIBILITY PLAN

1:130

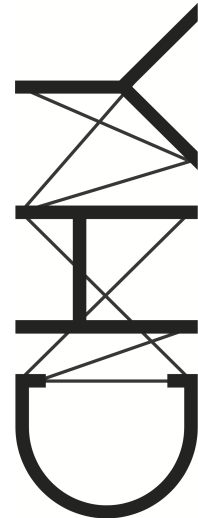
GENERAL NOTES:
NORTHERN WALL INTERNAL LINING
(SELECT EITHER GYPROCK IMPACTCHEK, FRYCHEK OR FRYCHEK
MR. ESTED TO 1530.4 - FIRE RESISTANCE TESTS OF ELEMENTS OF
BUILDING CONSTRUCTION AS PER FIRE ENGINEERS REPORT
REV.B)



GROUND FIRE PLAN 1:100



UPPER FIRE PLAN 1:100



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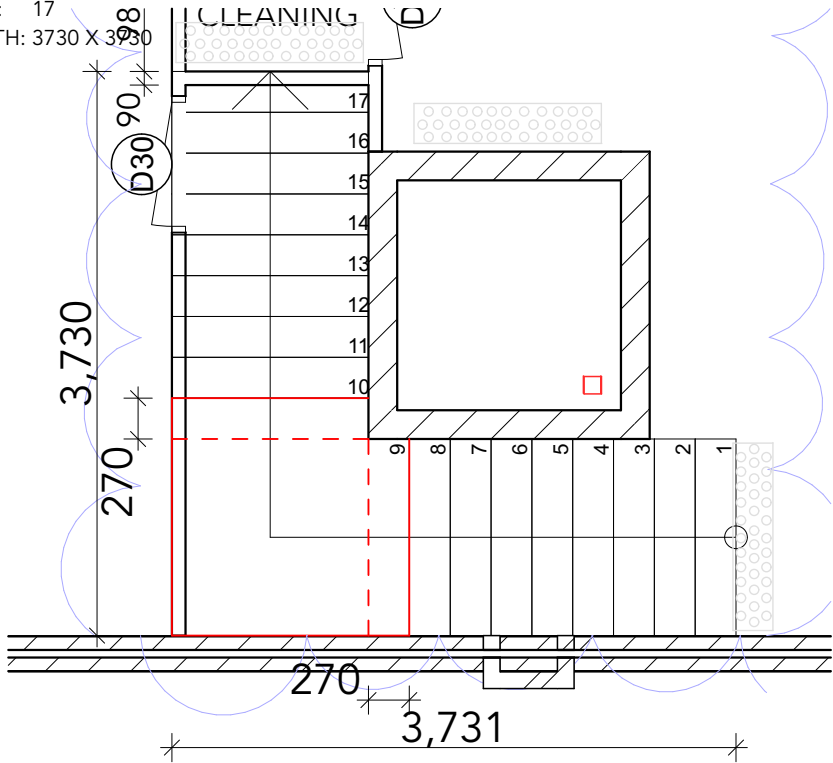
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FIRE PLAN

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Job Ref:	Page No:	Rev
YDH-070	CC.23	D14

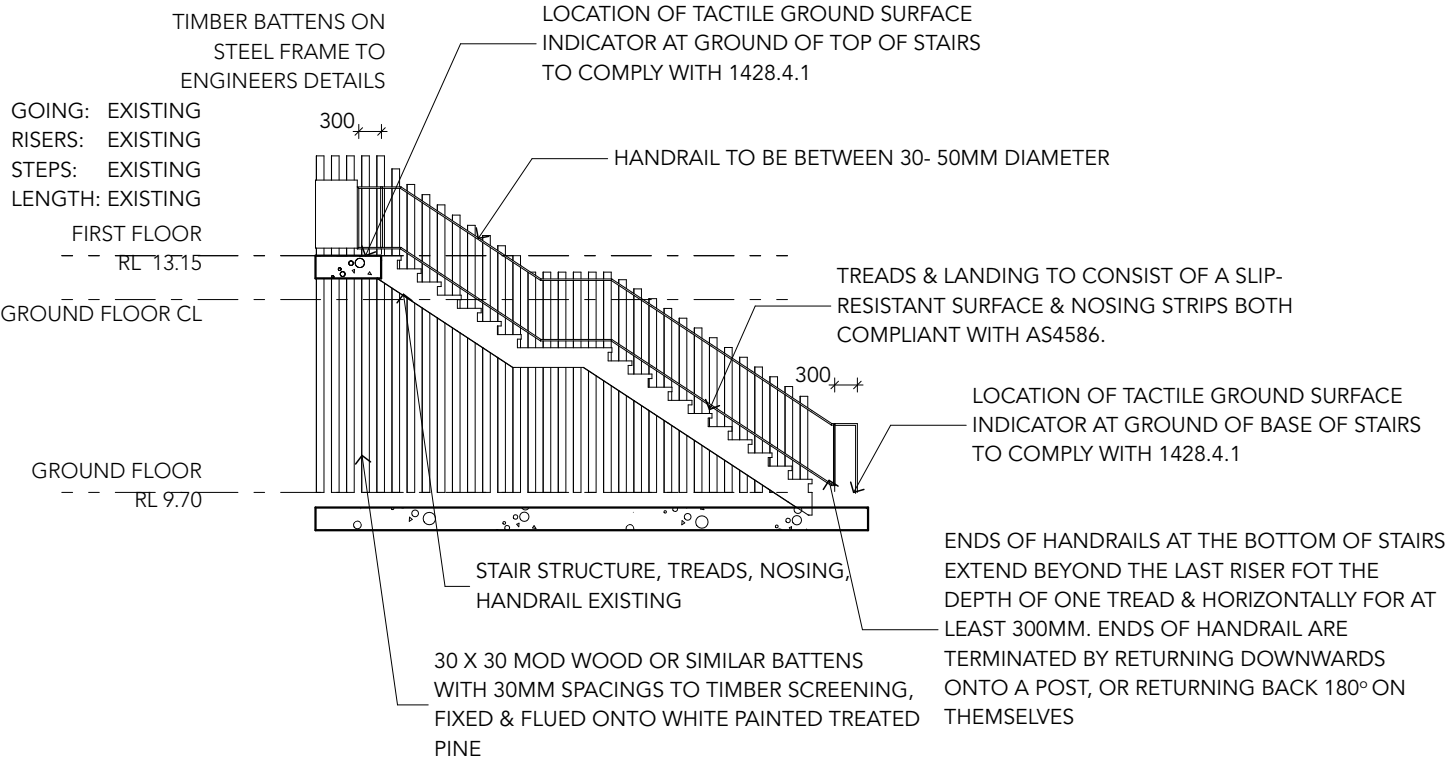
Plot Date: 29/4/20

GOING: 270
RISER: 184
STEPS: 17
LENGTH: 3730 X 3930

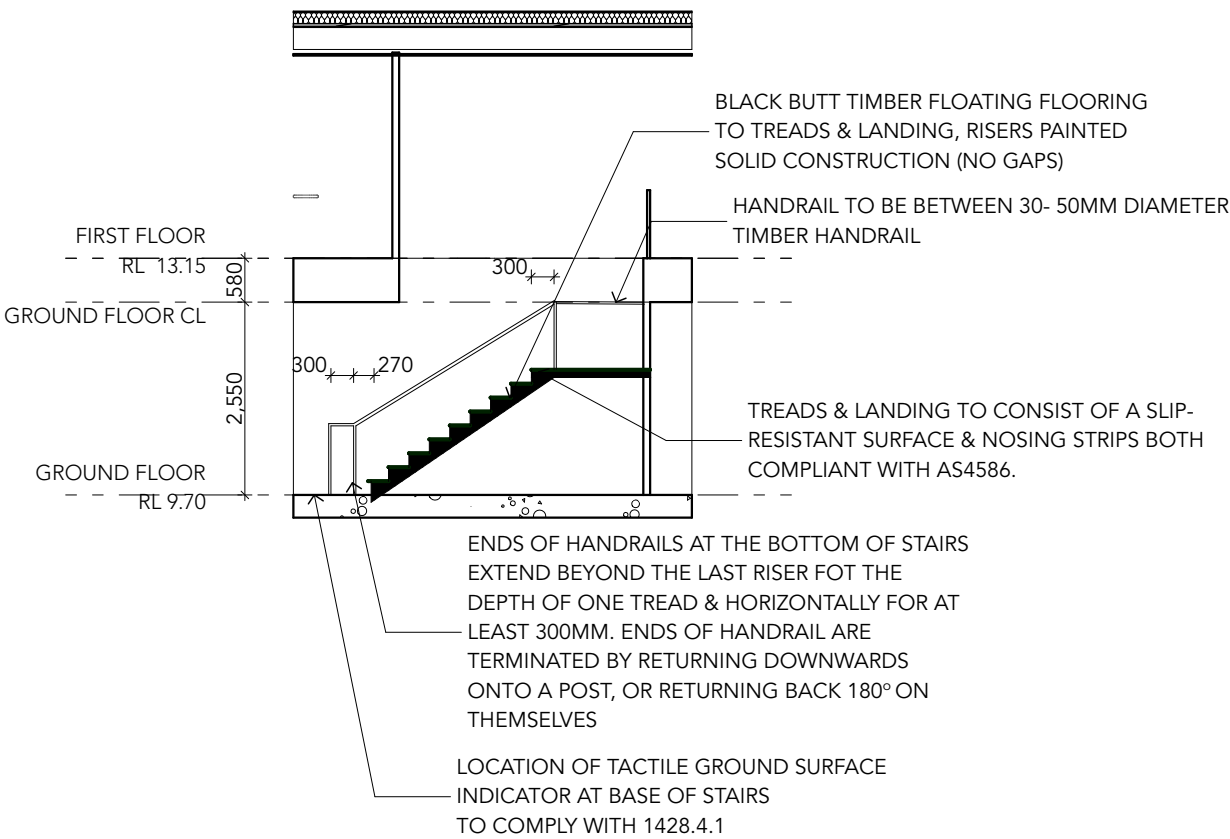


INTERNAL STAIR DETAIL 1:50

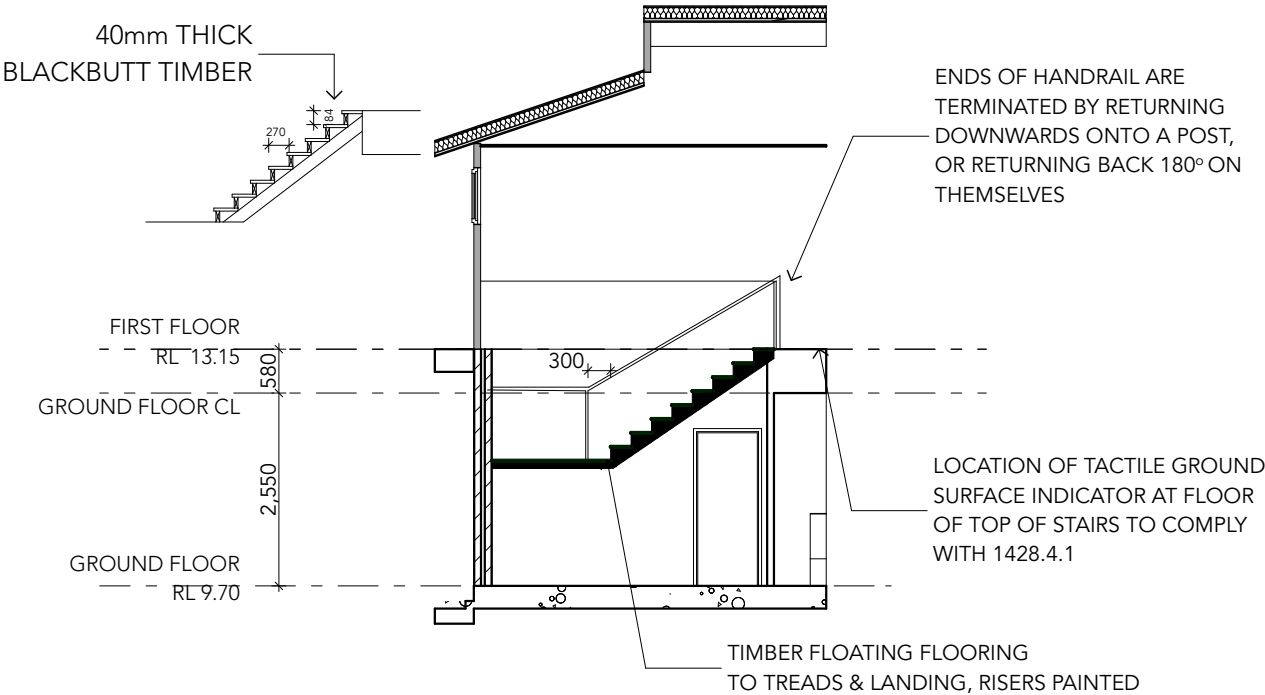
TACTILE STRIPS AND
DEVICES TO AS 1428.4



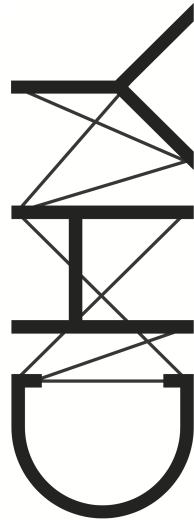
EXTERNAL STAIR DETAIL 1:100



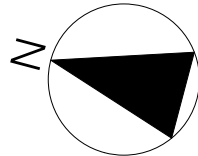
INTERNAL STAIR DETAIL 1:100



INTERNAL STAIR DETAIL 1:100



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MAINTENANCE PLATFORM	22.94m ²
TOTAL	527.79m²

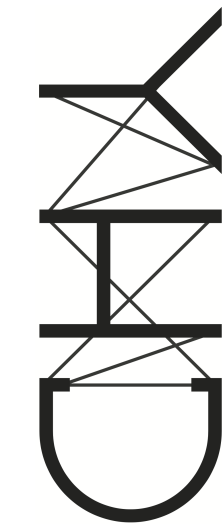
Client
HAWKS NEST SURF CLUB
Project Address
DP753166 BOONER
STREET, HAWKS NEST

Drawing Title:
STAIR DETAIL

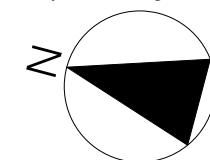
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D13	14/04/20	CC
D14	29/04/20	CC

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Plot Date: 29/4/20



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CONTOURS ARE SUBJECT TO SURVEY.
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TOTAL DOCUMENTATION PACKAGE

CPD	CUPBOARD
DN	DOWN
DP	DOWNPIPE
DR	DRYER
DW	DISHWASHER
FG	FRIDGE
FFL	FINISHED FLOOR LEVEL
PTY	PANTRY
RL	RELATIVE LEVEL
S	SINK
SHW	SHOWER
T.O.W	TOP OF WALL
WC	TOILET
WIL	WALK IN LINEN
WM	WASHING MACHINE

FLOOR AREAS

GROUND INTERNAL	211.58m ²
STAIRS / LIFT SHAFT	9.19m ²
UPPER INTERNAL	222.55m ²
UPPER BALCONY	61.53m ²
MAINTENANCE PLATFORM	22.94m ²
TOTAL	527.79m²

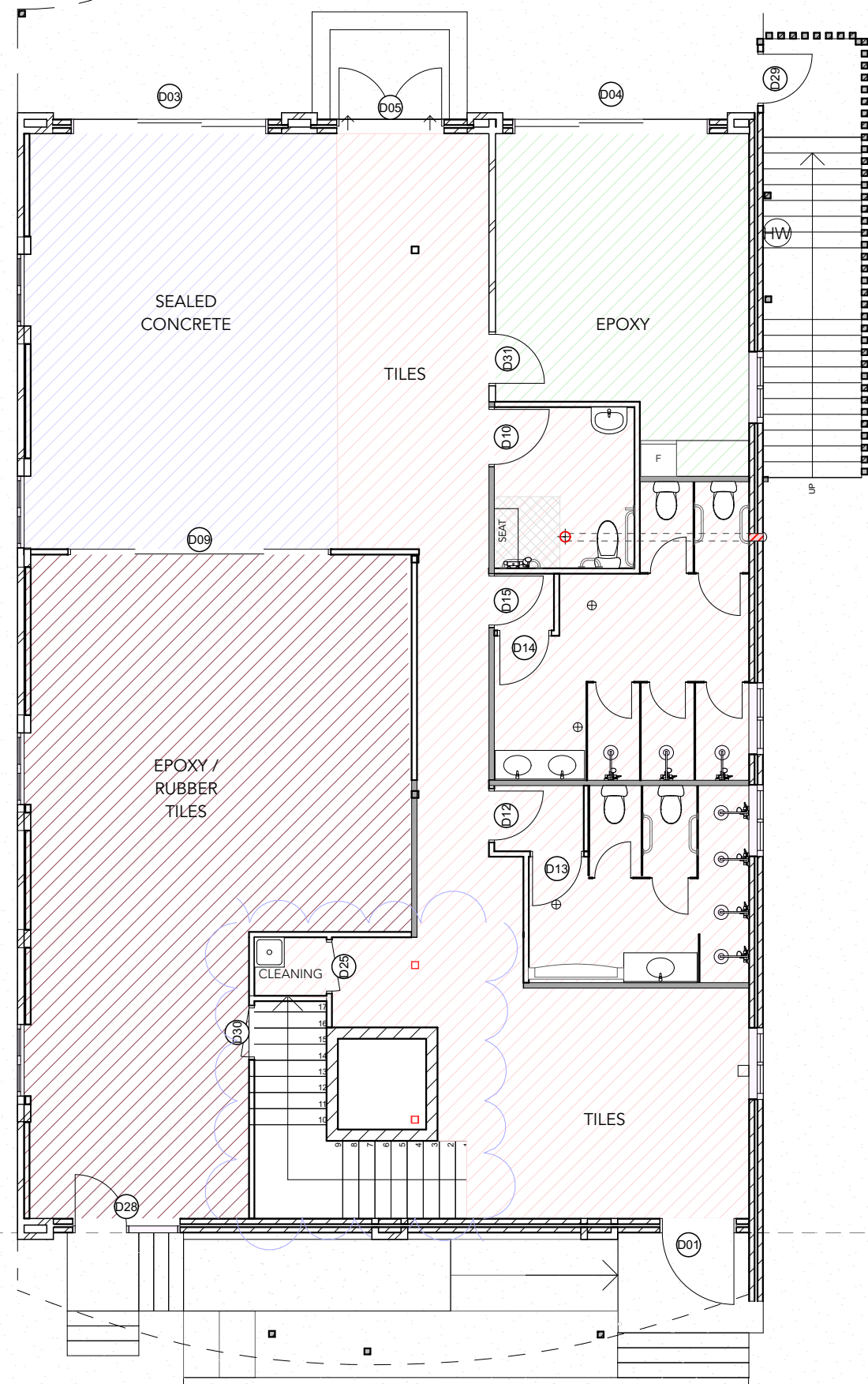
Client
HAWKS NEST SURF CLUB
Project Address
DP753166 BOONER
STREET, HAWKS NEST

Drawing Title:
FLOORING FINISHES

Rev	Date	Notes
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D1	29/6/19	Post DA
D2	29/8/19	Updates
D3	17/10/19	Compliance
D4	24/10/19	Compliance
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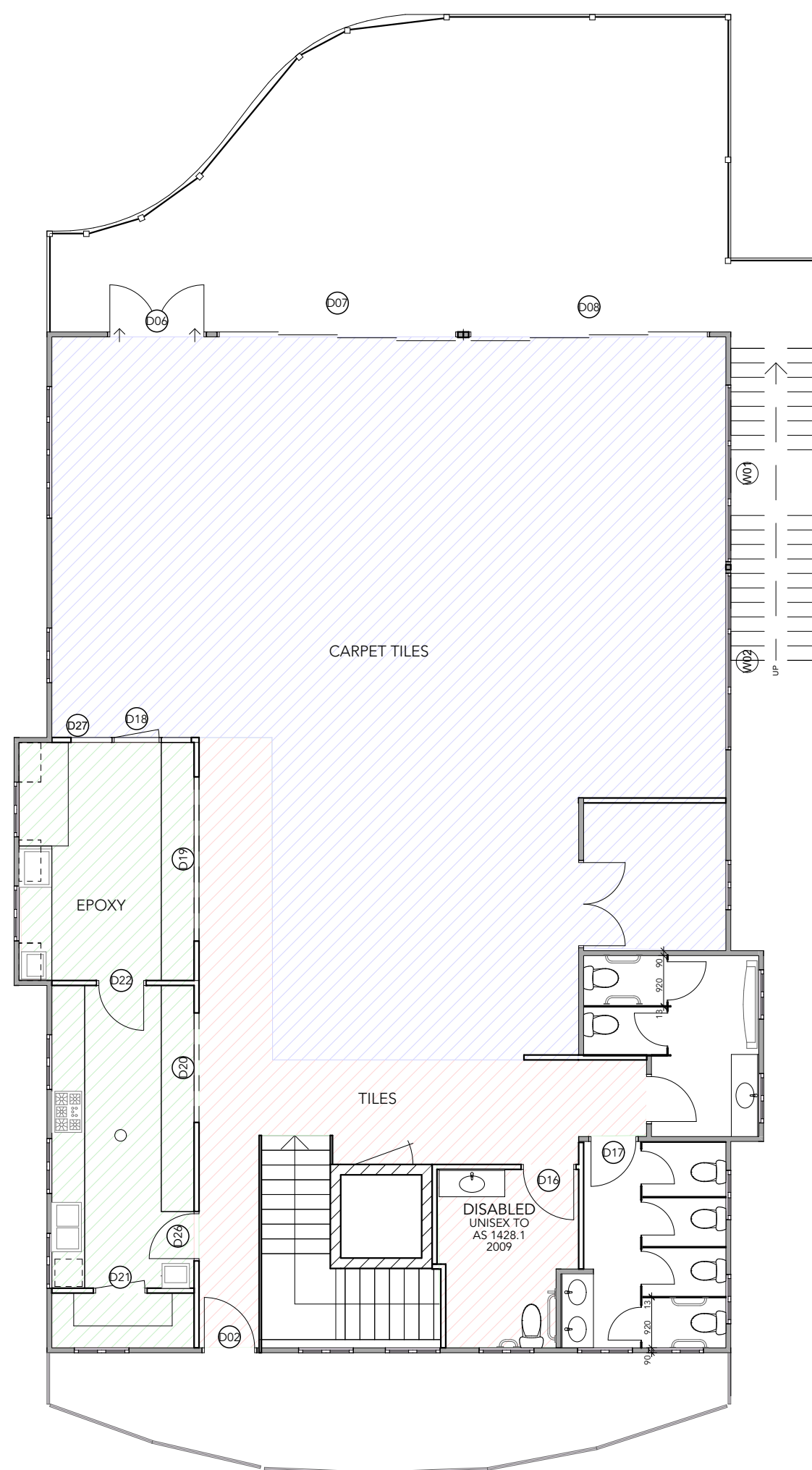
Job Ref:	Page No:	Rev
YDH-070	DA.26	D14

Plot Date: 29/4/20



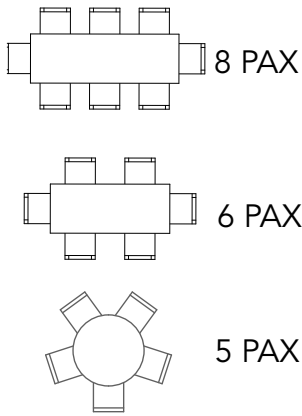
LOWER FLOORING FINISHES

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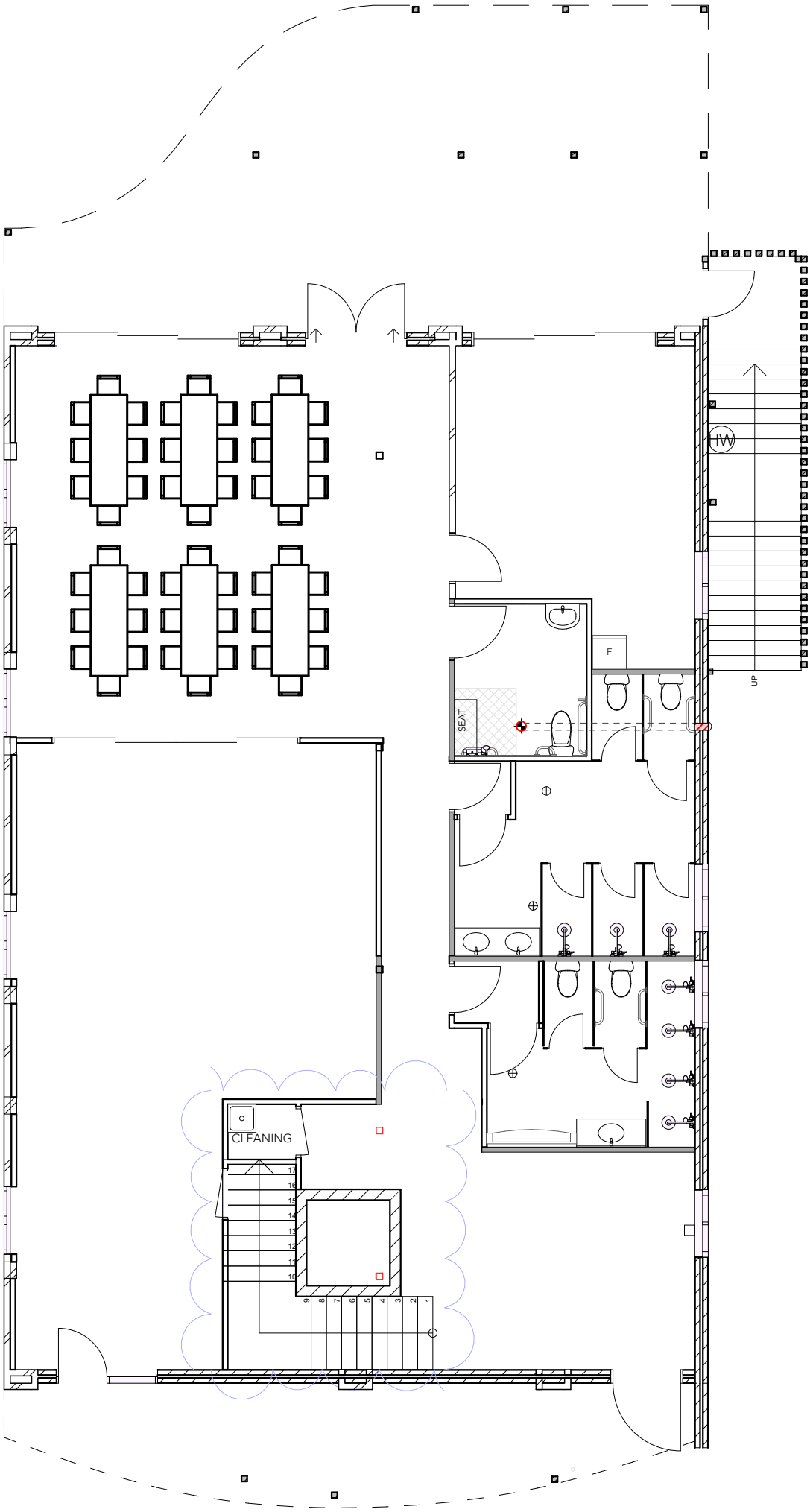


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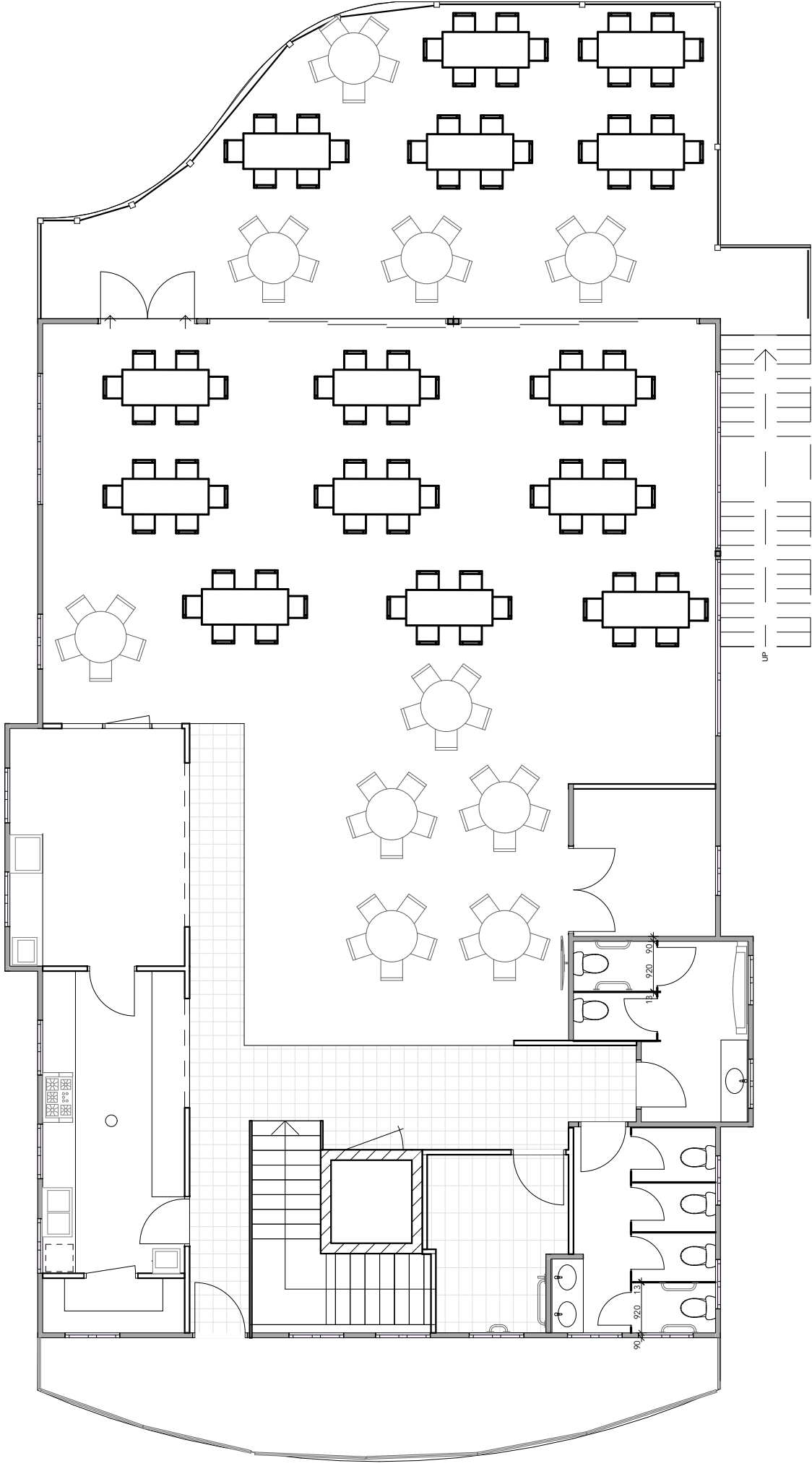
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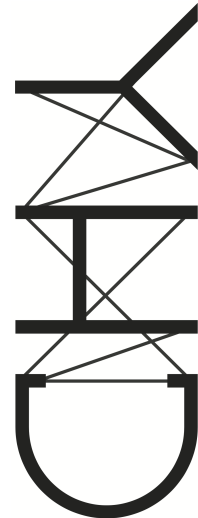
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TABLES & CHAIRS TO BE PROVIDED BY CLIENT



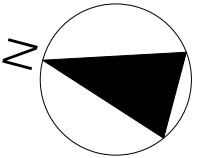
GROUND FURNITURE LAYOUT 1:100



UPPER FURNITURE LAYOUT 1:100



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SHW	SHOWER
T.O.W	TOP OF WALL
WC	TOILET
WIL	WALK IN LINEN
WM	WASHING MACHINE

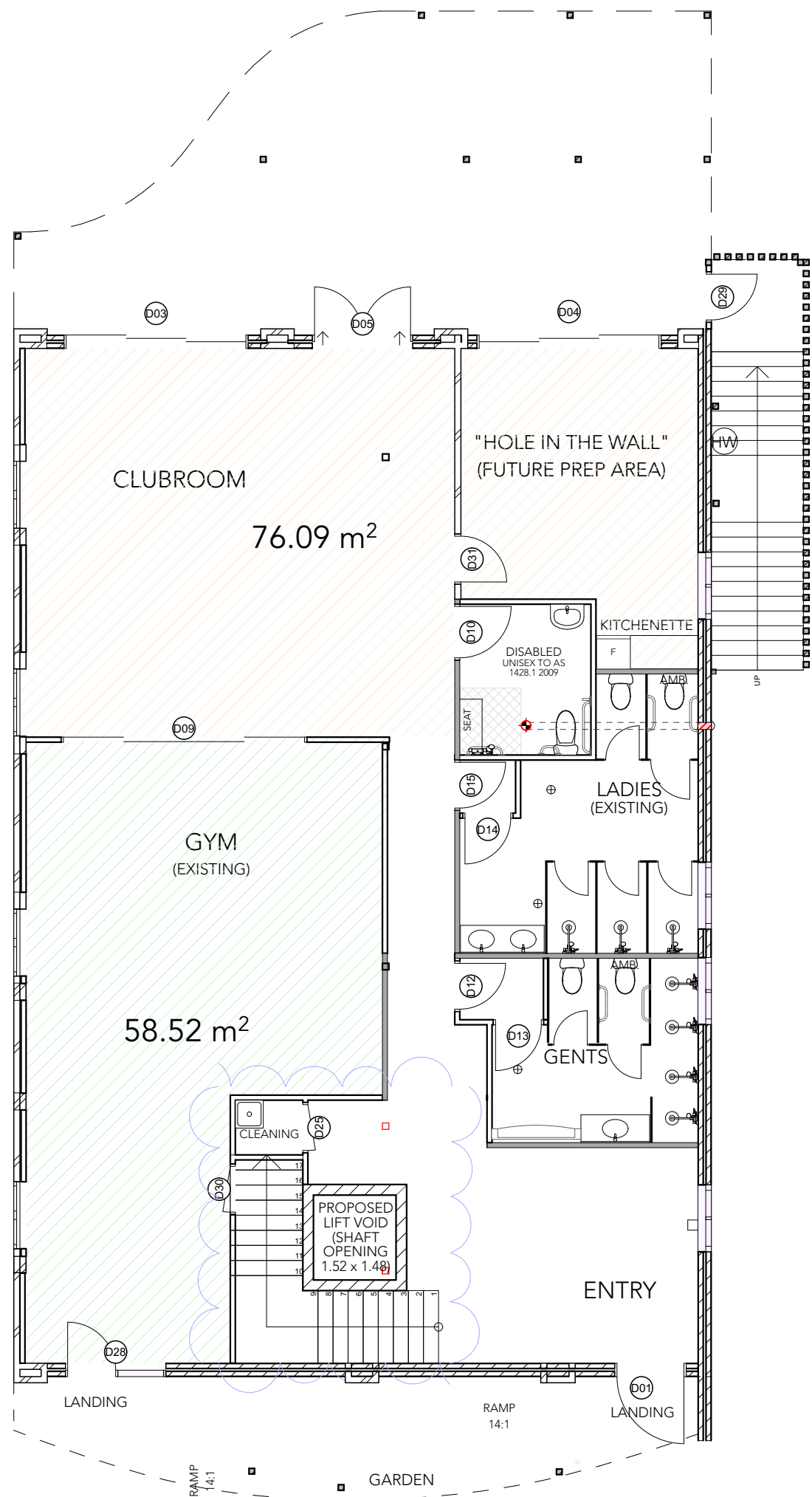
FLOOR AREAS	
GROUND INTERNAL	211.58m ²
STAIRS / LIFT SHAFT	9.19m ²
UPPER INTERNAL	222.55m ²
UPPER BALCONY	61.53m ²
MAINTENANCE PLATFORM	22.94m ²
TOTAL	527.79m²

Client
HAWKS NEST SURF CLUB
Project Address
DP753166 BOONER STREET, HAWKS NEST

Drawing Title:
FURNITURE LAYOUT

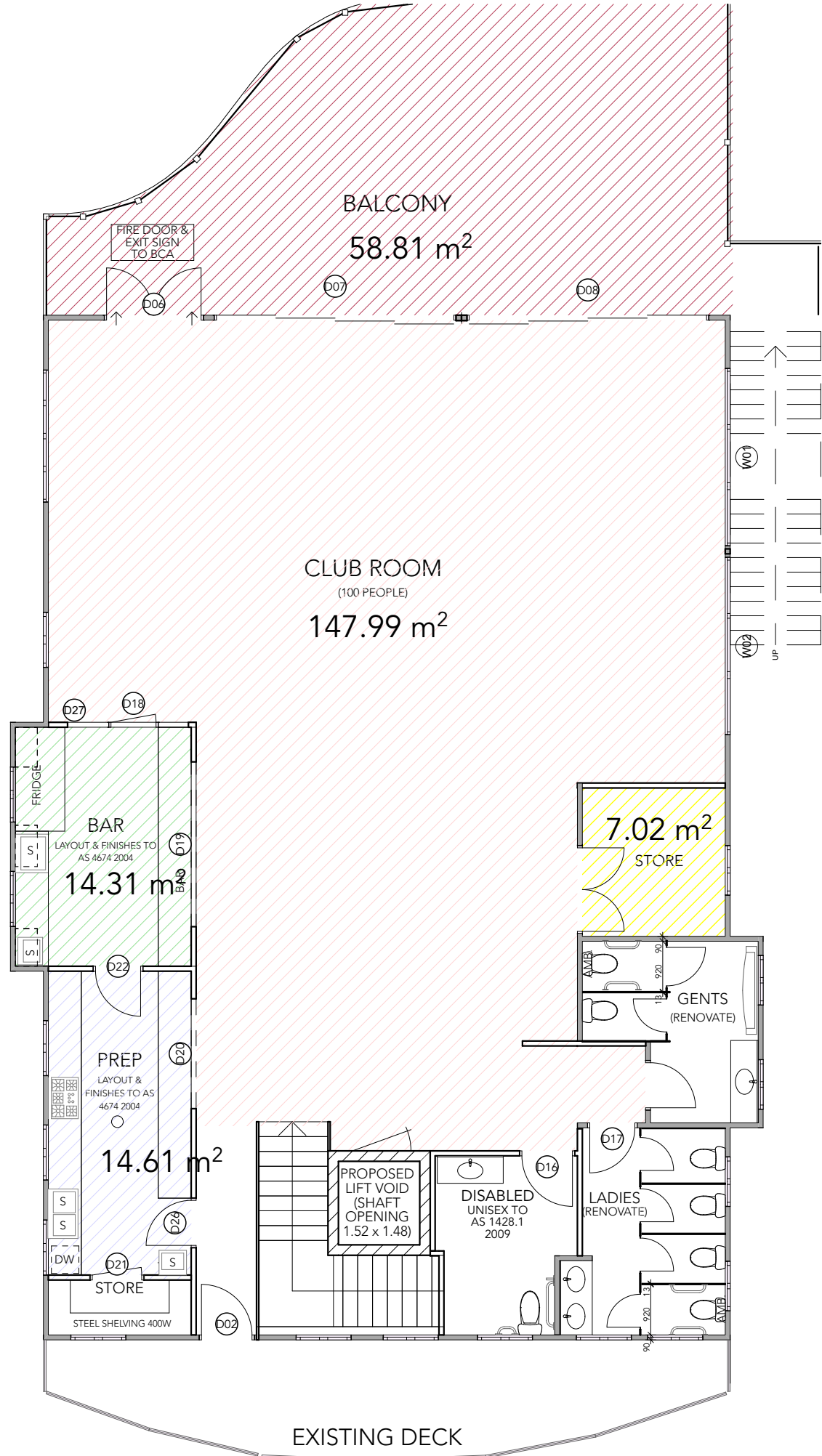
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D1	21/6/19	Post DA
D2	29/8/19	Updates
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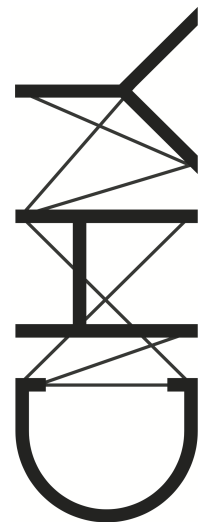
LOWER FLOOR AREAS

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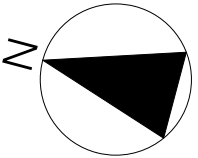


UPPER FLOOR AREAS

1:100



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FLOOR AREAS

GROUND INTERNAL	211.58m²
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UPPER BALCONY	61.53m²
MAINTENANCE PLATFORM	22.94m²
TOTAL	527.79m²

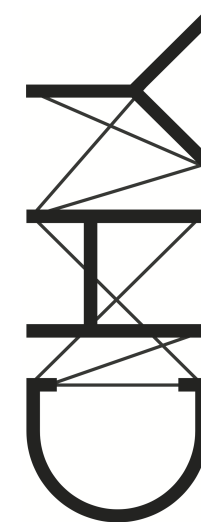
Client
HAWKS NEST SURF CLUB
Project Address
DP753166 BOONER STREET, HAWKS NEST

Drawing Title:
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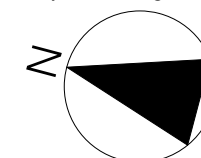
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D9	18/2/20	CC
D11	01/3/20	CC
D12	02/03/20	CC
D13	14/04/20	CC
D14	29/04/20	CC

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TOTAL	527.79m²

Client
HAWKS NEST SURF CLUB
Project Address
DP753166 BOONER
STREET, HAWKS NEST

Drawing Title:

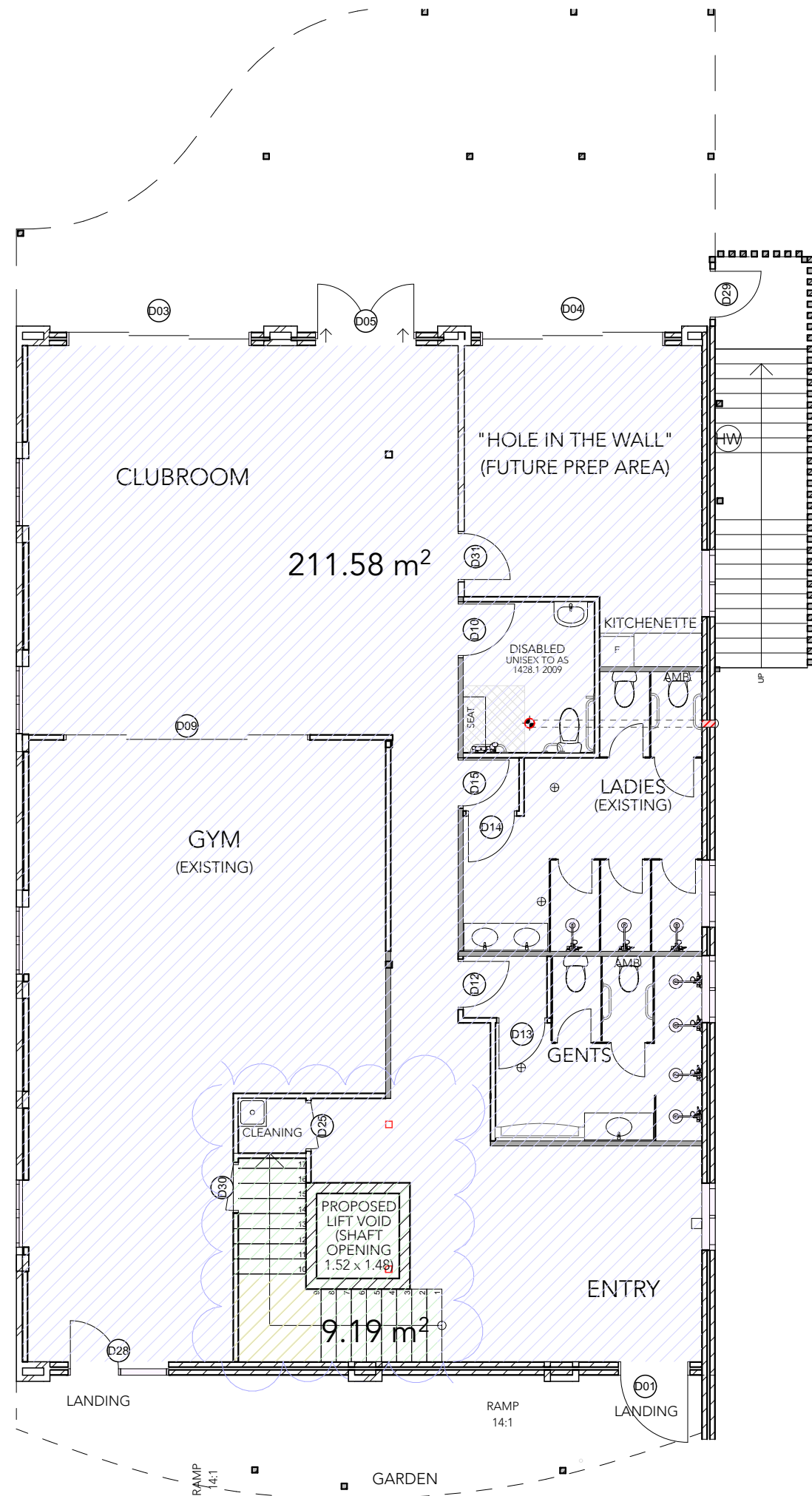
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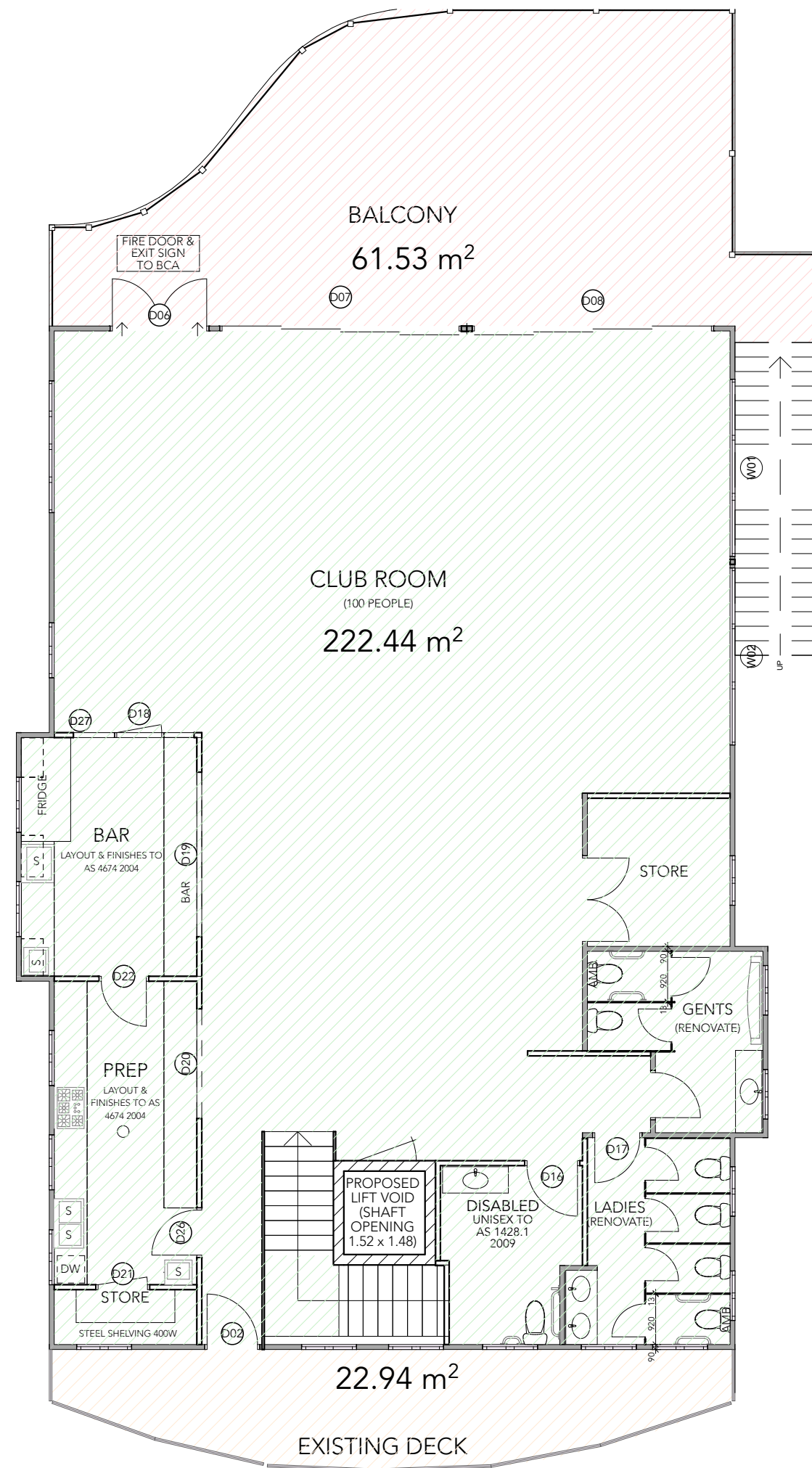
Plot Date:

29/4/20



LOWER FLOOR AREAS

1:100



UPPER FLOOR AREAS

1:100